



DIRECT ACCESS DRIVEWAY CONSTRUCTION
FROM PRIVATE PROPERTY TO CITY STREET OR ALLEY

CIRCLE ONE: Residential Commercial Industrial

REFER TO TABLE 5.5 ENTRANCE DIMENSIONS (right and left determined from street facing property)

#1 Existing Driveway Width at Property Line Existing Right Radius/Flare Existing Left Radius/Flare ft.
#2 Proposed Driveway Width at Property Line Proposed Right Radius/Flare Proposed Left Radius/Flare ft.
#3 Proposed Driveway Width at Property Line (add'l driveway) Proposed Right Radius/Flare Proposed Left Radius/Flare ft.

Does the Proposed Driveway have a change in geometry? [] Yes [] No

THE CITY'S APPROVAL of driveway(s) is limited to the standards contained within this form and the form "Driveway Guidelines & Details". It is the responsibility of the applicant and/or property owner, through design location, construction, and maintenance, to provide and maintain adequate sight distance for entering and exiting vehicles, and to meet other safety requirements as may be necessary. REFER TO TABLE 5.5 ENTRANCE DIMENSION

THE APPLICANT AND/OR PROPERTY OWNER AGREE that if granted a permit to construct the above described access, the following stipulations shall govern:

- 1. That the entrance, including drainage structure, grading and surfacing shall be constructed by the applicant at the applicant's expense, in accordance with the plot plan attached hereto, and in conformance with the standard specifications of the City, and shall thereafter be kept in repair and maintained by the owner at his/her own expense.
2. That the construction, future repair or maintenance of said entrance shall be carried on in such a way as to not interfere with, or interrupt traffic on said street, and the owner and/or applicant shall take all reasonable precautions to protect and safeguard the lives and property of any person or persons, and shall save the City of Cedar Rapids harmless of any damage or losses that may be sustained by any person or persons, on account of such construction, repair or maintenance operation.
3. The driveway shall be constructed of concrete, asphalt or brick pavers, not inclusive of the sidewalk, which shall be concrete.
4. All driveway curb cut construction joints in streets to be sawed a minimum of 18 inches from back of curb unless otherwise approved by a City Public Works representative.
5. Any tree located on public property within or 10' either side of the proposed driveway construction requires approval of the City Arborist prior to excavation near (or removal of) said tree(s). Additionally, every precaution shall be taken to protect the roots of remaining trees satisfactory to the City Arborist.
6. Any construction by the applicant within 300 feet of a traffic signal infrastructure shall be approved by the Assistant Traffic Engineering Manager prior to construction.
7. This permit does not authorize or approve any construction that conflicts with previous ordinances or resolutions of the City of Cedar Rapids.
8. The applicant and/or owner hereby agree that the proposed driveway work will not negatively impact or restrict the flow of stormwater.

Applicant's Initials 5

DRIVEWAY GUIDELINES & DETAILS

CONFORMANCE TO THE DRIVEWAY GUIDELINES & DETAILS DOES NOT IMPLY CITY APPROVAL OF THE APPLICATION FOR EXCAVATION IN PUBLIC RIGHT-OF-WAY PERMIT.

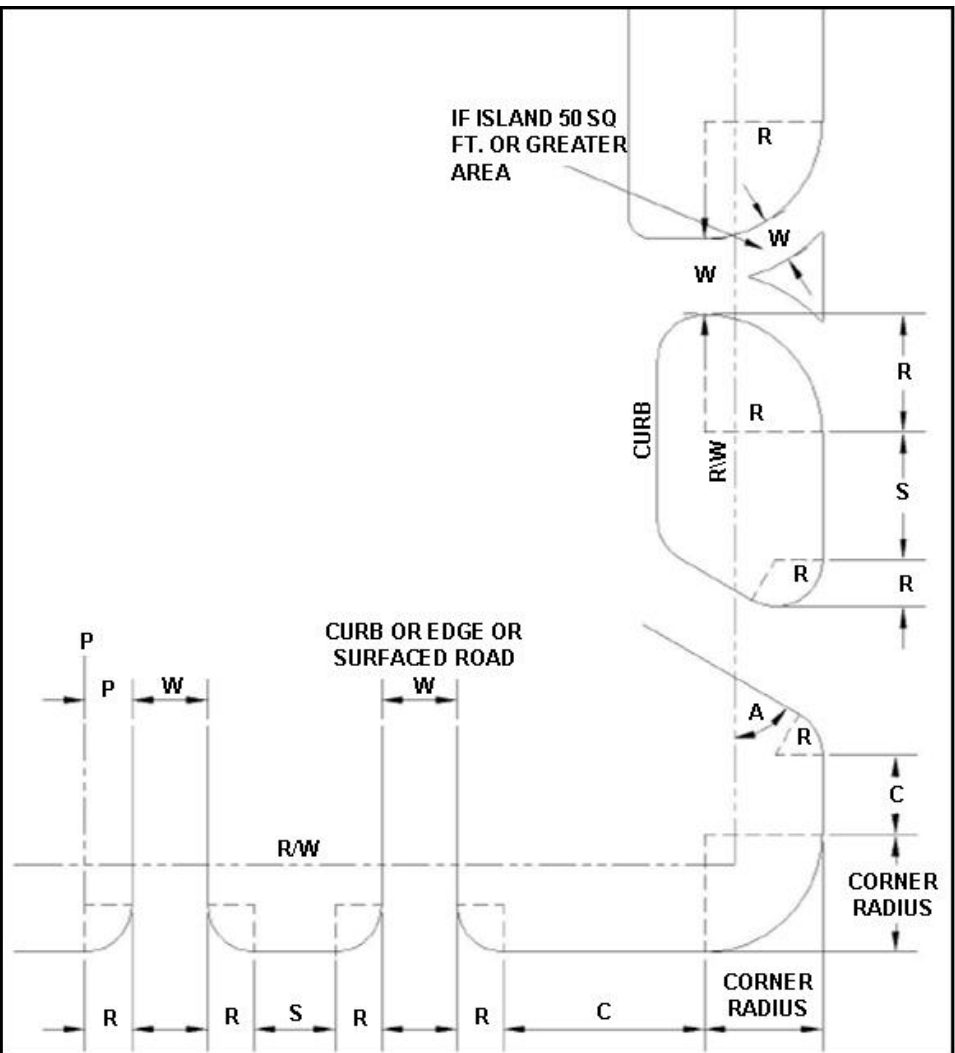
TABLE 5.5 ENTRANCE DIMENSIONS (FT)*

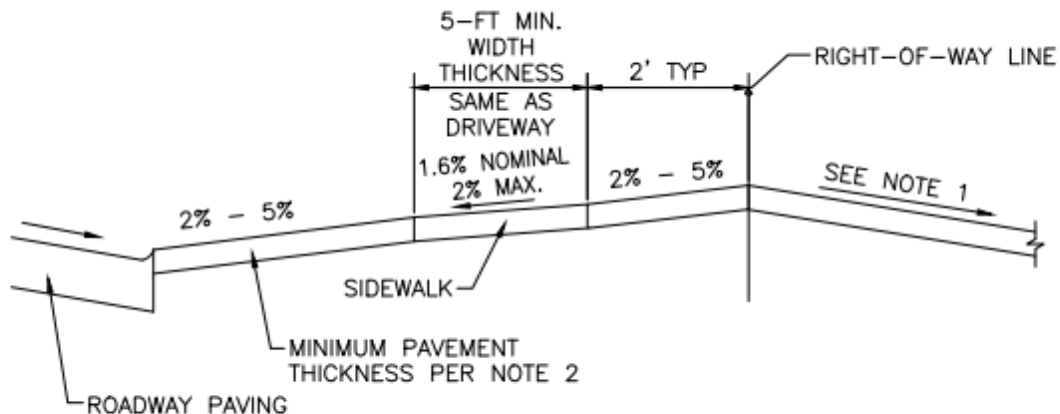
	Dimension Reference (See Fig. 5.2)	Posted Speed < 35 mph				Posted Speed ≥35 mph			
		Residential	Commercial	Industrial	Agricultural	Residential	Commercial	Industrial	Agricultural
Entrance Type		C	A or B	A or B	C	C	A or B	A or B	C
Width ¹	W								
Minimum		10	24	24	15	10	24	24	15
Maximum ⁷		24	30	40	30	24	40	50	30
Right Turn Radius ²	R								
Minimum		5	15	20	10	5	15	20	15
Maximum		10	20	30	20	15	35	50	25
Minimum Spacing ³									
From Property Line	P	R/F	R+10	R+10	R	R/F	R+10	R+10	R
From Street Corner	C	10	10	10	50	300	300-600	300-600	300
Between Driveways on Same Lot	S	30	60	60	300	30	60	60	300
Angle ⁴	A	90 ⁰	90 ⁰	90 ⁰	90 ⁰	90 ⁰	90 ⁰	90 ⁰	90 ⁰
Pavement Thickness in ROW		5"	6"	8"	N/A	5"	6"	8"	N/A

FIGURE 5.2 ENTRANCE DIMENSIONS AND SPACING

* The ability to meet the dimension requirements of this table shall not be construed as being any indication of a right to access on a particular street. Refer to Table 5.5 for spacing of entrances and check with the jurisdiction. Tables can be found in the Design Standards Manual.

1. The minimum width of commercial or industrial driveways is 15ft. for one-way operation. The width is intended to be measured along the right-of-way line. In most instances at the inner limit of a curbed radius or between the line of the radius and the near edge of a curbed island of at least 50 square feet in area.
2. Flares (F) may be used for residential entrances in lieu of radii, with a minimum 2:1 ratio (the 2 dimension being at a right angle to the street).
3. Measured along the curb or edge of pavement from the roadway end of the curb radius.
4. Any various from 90⁰ will be evaluated on a case basis. The minimum acute angle (measured from the edge of the pavement) for any one-way commercial or industrial driveway is 70⁰. The minimum acute angle for any residential driveway is 60⁰.
5. Shared driveways shall be approved by the Jurisdiction.
6. The spacing from an entrance to arterial street corner may be less than 300 feet if justified by a traffic study, entrance is right-in/right-out, or other site-specifics have been evaluated by the Jurisdiction.
7. Driveway on local residential street may have a maximum width of 36 feet for a garage with three or more stalls except where located within a cul-de-sac bulb, where maximum width shall be 24 feet regardless of number of stalls.

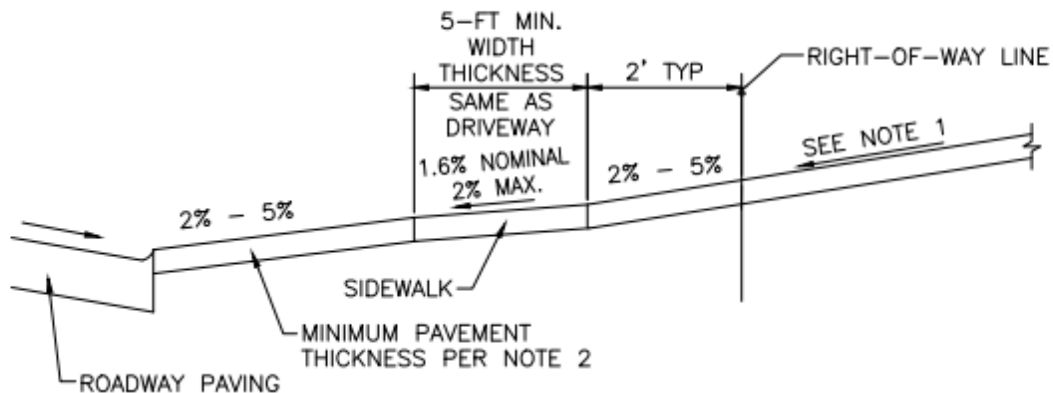




FILL SECTION

NOTES:

1. MAXIMUM 9%. CONSTRUCT 10 FT MINIMUM LENGTH VERTICAL CURVE, BEGINNING AT BACK OF WALK, IF SLOPE EXCEEDS 4%.
2. MINIMUM PAVEMENT THICKNESS FOR RESIDENTIAL DRIVES IS 5 INCH PCC. MINIMUM PAVEMENT THICKNESS FOR COMMERCIAL ENTRANCES IS 6 INCH PCC.

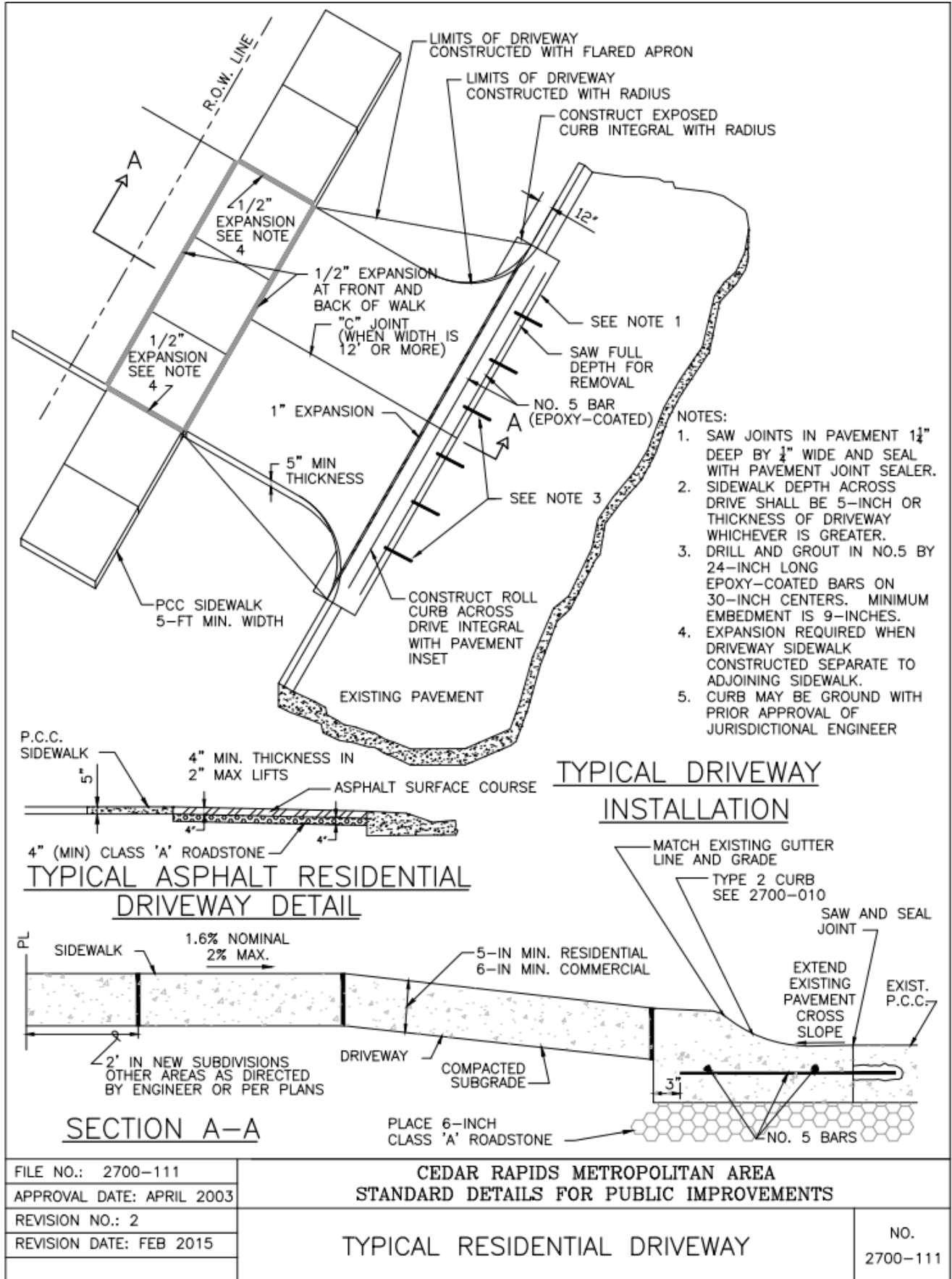


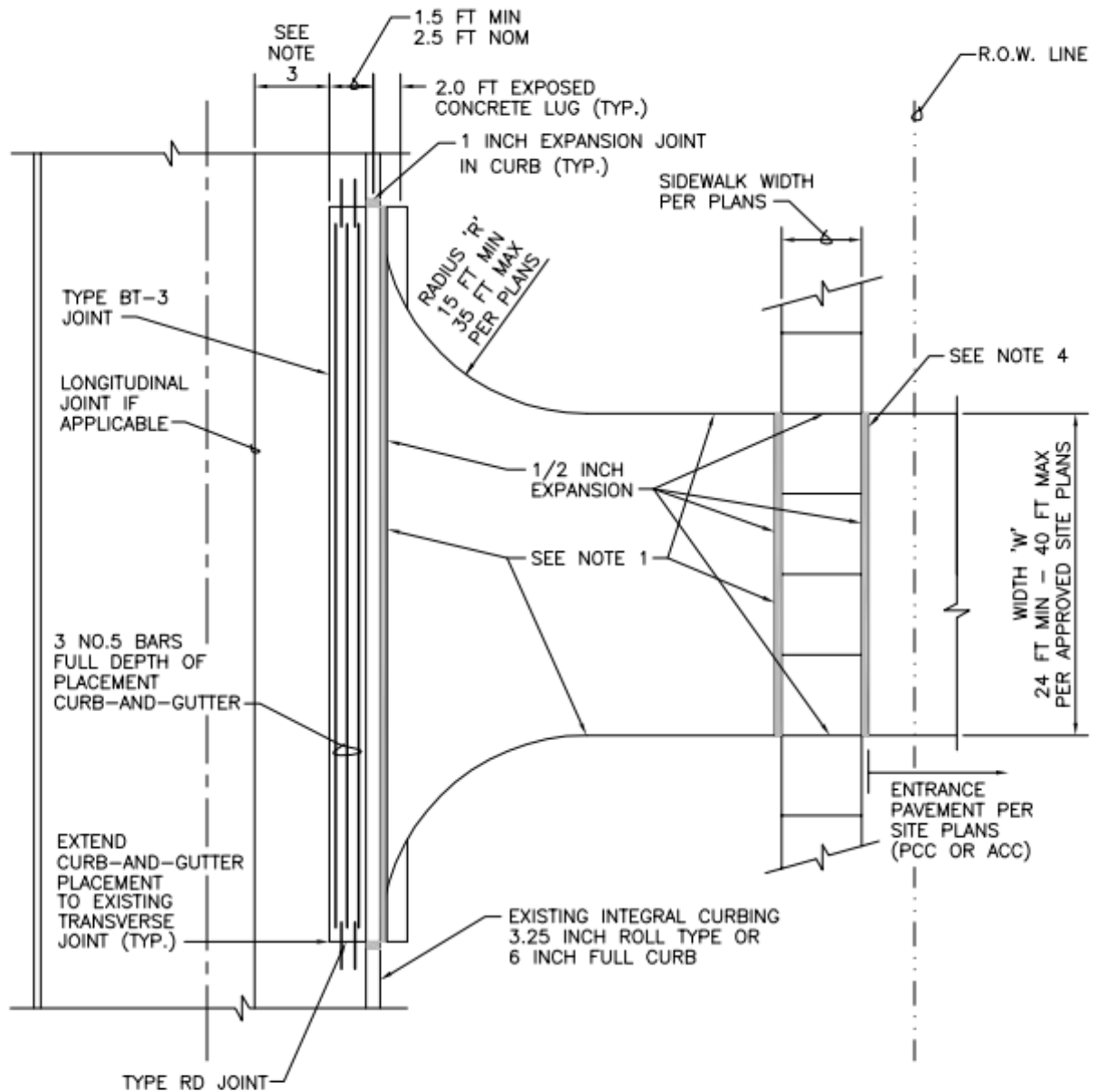
CUT SECTION

NOTES:

1. MAXIMUM 9%. CONSTRUCT 10 FT MINIMUM LENGTH VERTICAL CURVE, BEGINNING AT BACK OF WALK, IF SLOPE EXCEEDS 5%.
2. MINIMUM PAVEMENT THICKNESS FOR RESIDENTIAL DRIVES IS 5 INCH PCC. MINIMUM PAVEMENT THICKNESS FOR COMMERCIAL ENTRANCES IS 6 INCH PCC.
3. SURFACE DRAINAGE ONTO R.O.W. MUST BE APPROVED BY CITY ENGINEER.

FILE NO.: 2700-110	CEDAR RAPIDS METROPOLITAN AREA STANDARD DETAILS FOR PUBLIC IMPROVEMENTS		NO. 2700-110
APPROVAL DATE: APRIL 2003			
REVISION NO.: 2	TYPICAL DRIVEWAY GRADES		
REVISION DATE: FEB. 2015			





PLAN VIEW

NOTES:

1. WITHIN LIMITS SHOWN, ENTRANCE PAVEMENT SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE (PCC). THICKNESS OF ENTRANCE PAVEMENT SHALL BE PER PLANS WITH A MINIMUM OF 6-INCHES.
2. UNLESS NOTED OTHERWISE, REPLACEMENT CURB-AND-GUTTER SECTION SHALL BE CONSTRUCTED WITH A 3.25-INCH CURB LIP. EXISTING GUTTER GRADE SHALL BE REESTABLISHED.
3. MINIMUM DISTANCE BETWEEN EDGE OF REPLACEMENT CURB-AND-GUTTER AND NEAREST LONGITUDINAL JOINT SHALL BE 4- FEET. IF NEAREST JOINT IS 4.5 FEET OR LESS FROM BACK OF CURB, REMOVE TO NEAREST JOINT.
4. IF ENTRANCE PAVEMENT ON PROPERTY SIDE OF SIDEWALK IS ACC, DELETE EXPANSION JOINT.
5. SEE 'SECTION - TYPICAL COMMERCIAL ENTRANCE', SHEET 2700-110, FOR TYPICAL DRIVEWAY GRADES.

FILE NO.: 2700-117	CEDAR RAPIDS METROPOLITAN AREA STANDARD DETAILS FOR PUBLIC IMPROVEMENTS		NO. 2700-117
APPROVAL DATE: APRIL 2003			
REVISION NO.: 1	TYPICAL COMMERCIAL ENTRANCE		
REVISION DATE: APRIL 2003			