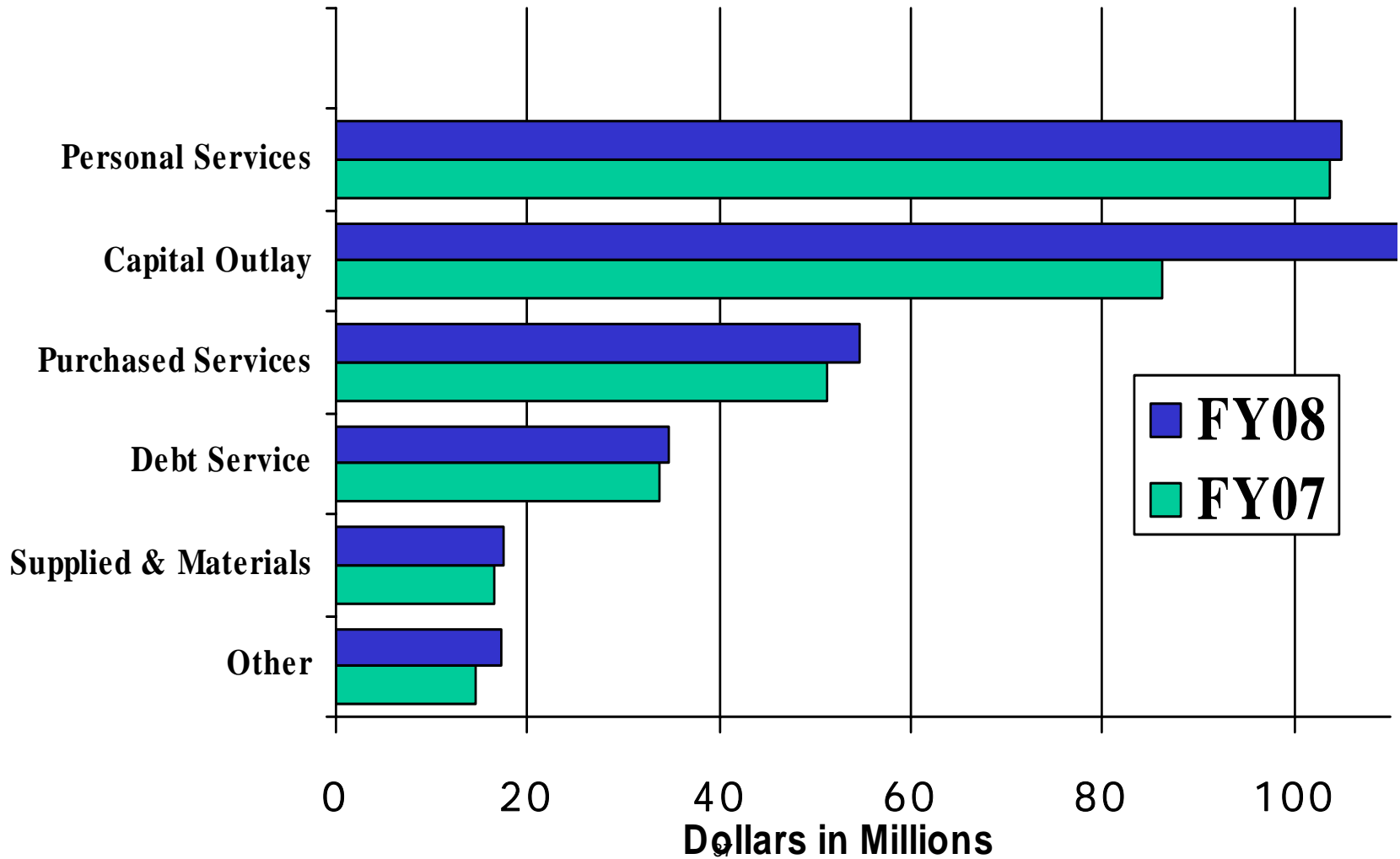


Budget Comparative by Major Object of Expenditure, FY06 - FY07

<i>Major Object</i>	<i>FY07</i>	<i>FY08</i>	<i>Amount Increase/ (Decrease)</i>	<i>Percent Increase/ (Decrease)</i>
Personal Services	\$ 103,826,519	\$ 105,043,284	\$ 1,216,765	1.17%
Purchased Services	51,268,927	54,559,175	3,290,248	6.42%
Supplies & Materials	16,587,742	17,529,550	941,808	5.68%
Other	14,570,592	17,342,191	2,771,599	19.02%
Capital Outlay	86,227,299	122,432,103	36,204,804	41.99%
Debt Service	33,760,132	34,814,553	1,054,421	3.12%
Totals	\$ 306,241,211	\$ 351,720,856	\$ 45,479,645	14.85%

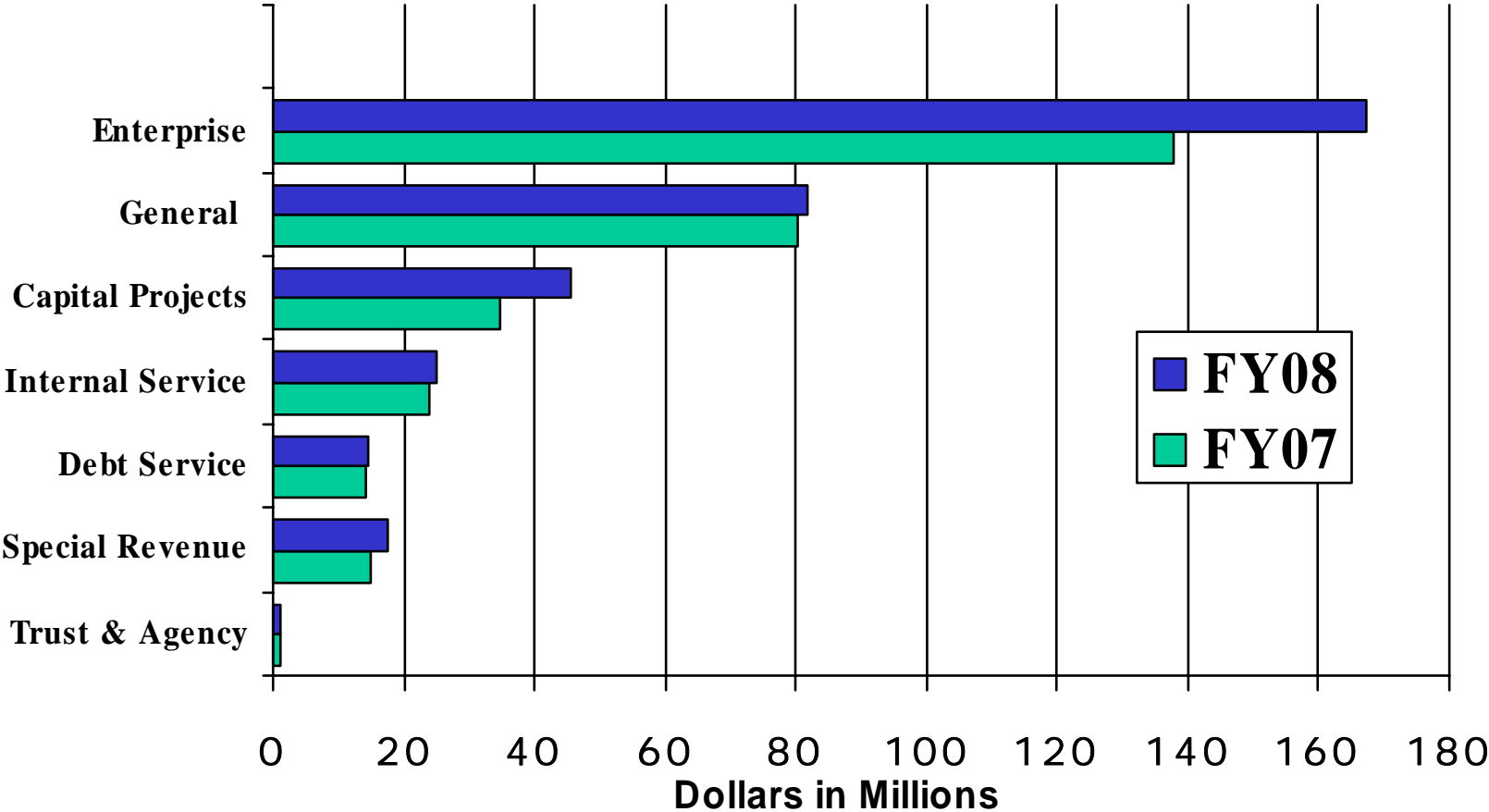
Comparative Budget by Major Object of Expenditure, FY07 - FY08



Comparative Budget by Fund Type, FY07 - FY08

<i>Fund</i>	<i>FY07</i>	<i>FY08</i>	<i>Amount Increase/ (Decrease)</i>	<i>Percent Increase/ (Decrease)</i>
Internal Service	\$ 23,932,706	\$ 24,946,768	\$ 1,014,062	4.24%
General	80,177,553	81,719,936	1,542,383	1.92%
Special Revenue	14,808,953	17,354,240	2,545,287	17.19%
Debt Service	14,286,307	14,657,075	370,768	2.60%
Trust & Agency	532,104	395,276	(136,828)	(25.71%)
Capital Projects	34,694,872	45,424,646	10,729,774	30.93%
Enterprise	137,808,716	167,222,915	29,414,199	21.34%
Totals	\$ 306,241,211	\$ 351,720,856	\$ 45,479,645	14.85%

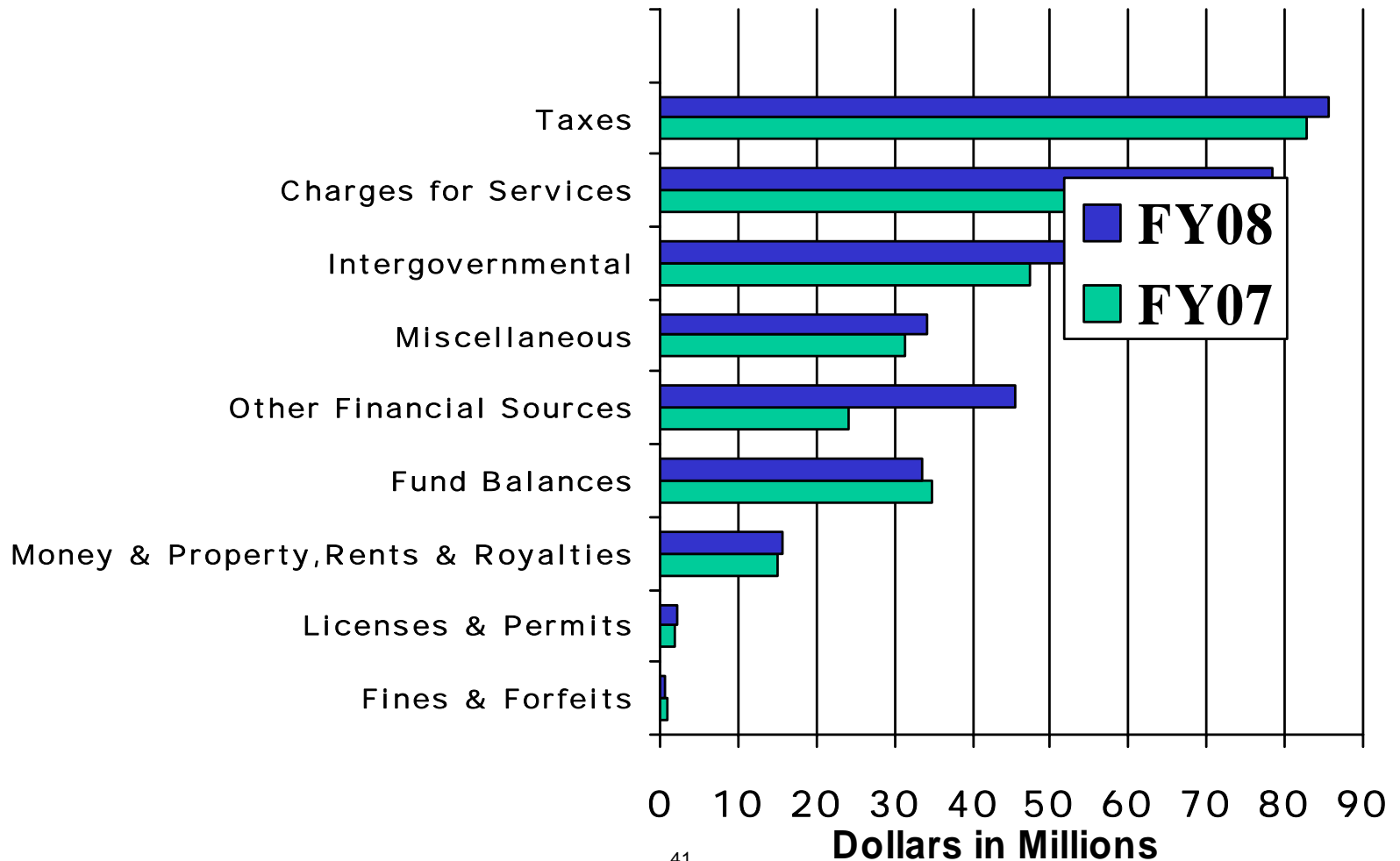
Comparative Budget by Fund Type, FY07 - FY08



Revenue Budget Comparative by Source, FY07 - FY08

<i>Major Object</i>	<i>FY07</i>	<i>FY08</i>	<i>Amount Increase/ (Decrease)</i>	<i>Percent Increase/ (Decrease)</i>
Taxes	\$ 82,889,807	\$ 85,625,293	\$ 2,735,486	3.30%
Licenses & Permits	2,028,080	2,166,005	137,925	6.80%
Intergovernmental	47,508,137	55,687,113	8,178,976	17.22%
Charges for Services	72,759,154	78,405,669	5,646,515	7.76%
Fines & Forfeits	844,500	739,000	(105,500)	(12.49%)
Use of Money & Property, Rents & Royalties	15,291,043	15,787,285	496,242	3.25%
Miscellaneous	32,722,846	34,133,429	1,410,583	4.31%
Other Financing Sources	24,956,433	45,476,211	20,519,778	82.22%
Fund Balances	27,241,211	33,700,851	6,459,640	23.71%
Totals	\$ 306,241,211	\$ 351,720,856	\$ 45,479,645	14.85%

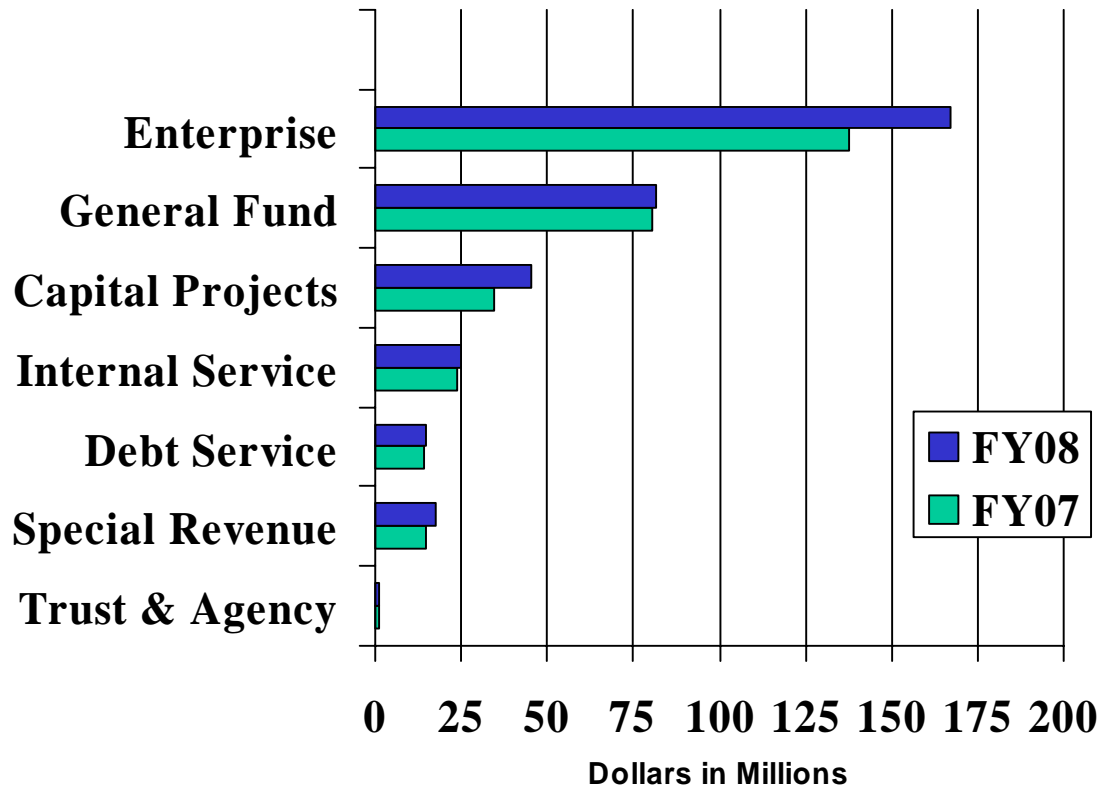
Revenue Budget Comparative by Source, FY07 - FY08



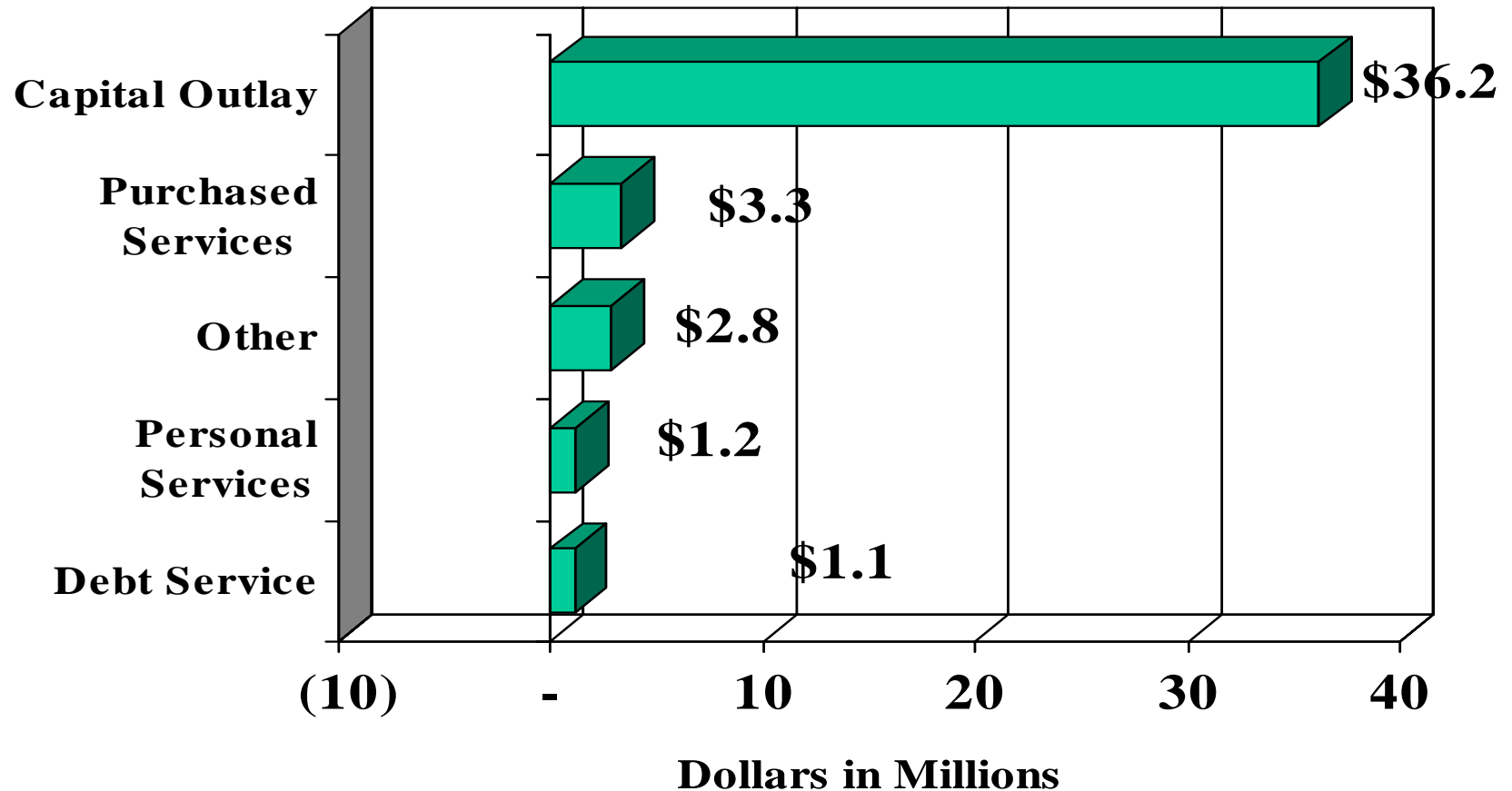
Revenue Budget Comparative by Fund Type, FY07 - FY08

<i>Fund</i>	<i>FY07</i>	<i>FY08</i>	<i>Increase/ (Decrease)</i>	<i>Increase/ (Decrease)</i>
Internal Service	\$ 23,932,706	\$ 24,946,768	\$ 1,014,062	4.24%
General	80,177,553	81,719,936	1,542,383	1.92%
Special Revenue	14,808,954	17,354,240	2,545,286	17.19%
Debt Service	14,286,307	14,657,075	370,768	2.60%
Trust and Agency	532,104	395,276	(136,828)	(25.71%)
Capital Projects	34,694,872	45,424,646	10,729,774	30.93%
Enterprise	137,808,715	167,222,915	29,414,200	21.34%
Totals	<u>\$ 306,241,211</u>	<u>\$ 351,720,856</u>	<u>\$ 45,479,645</u>	<u>14.85%</u>

Revenue Budget Comparative by Fund Type, FY07 - FY08



Major Reasons for FY08 Budgeted Expenditure Changes



Cedar Rapids Total Assessed Value Comparative, FY07 - FY08

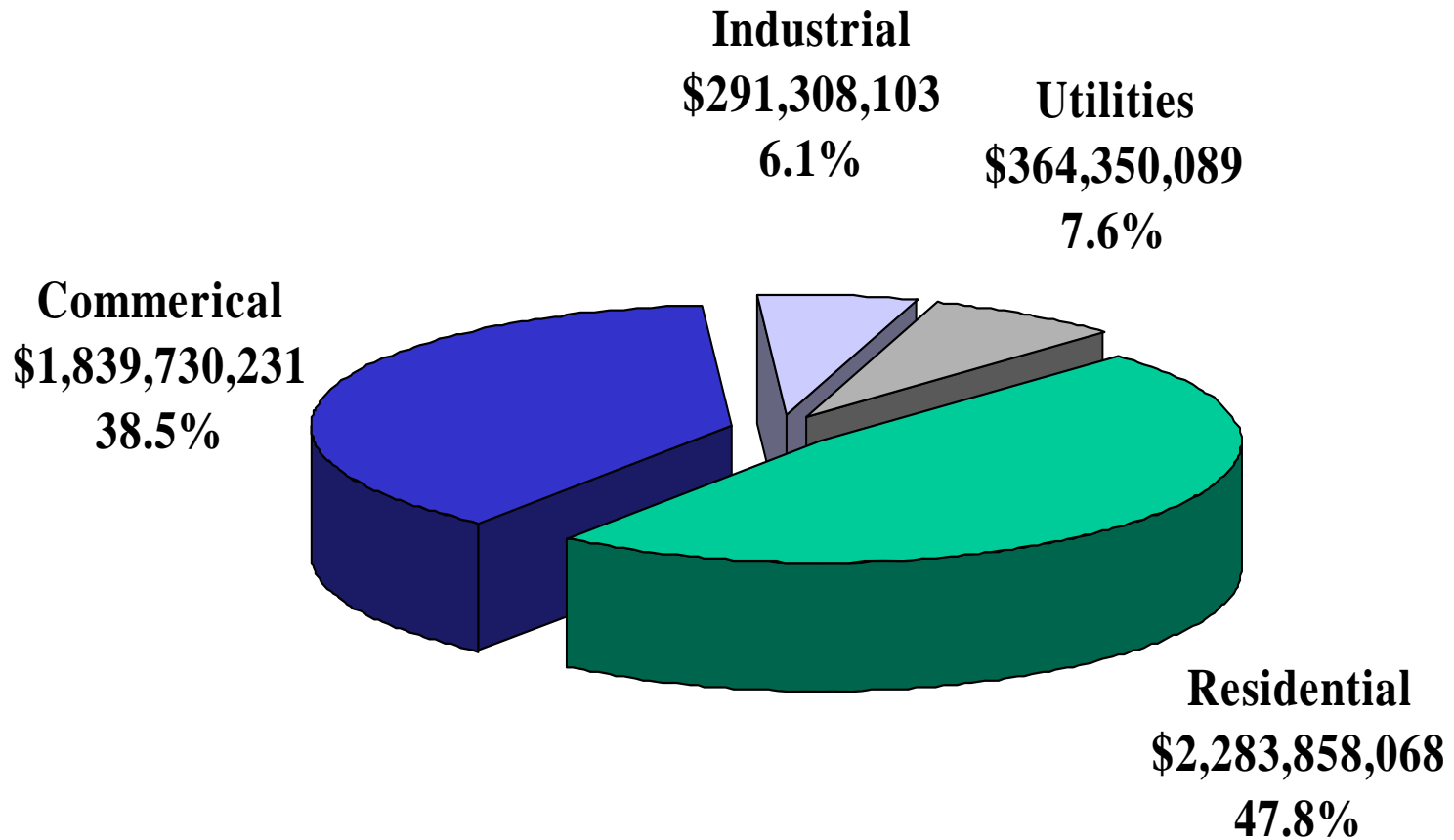
<u>Property Type</u>	<u>FY07 Valuation as of Jan. 1, 2005</u>	<u>FY08 Valuation as of Jan. 1, 2006</u>	<u>Amount Increase/ (Decrease)</u>	<u>Percent Increase/ (Decrease)</u>
<u>Real Property</u>				
Residential	\$ 5,035,334,381	\$ 5,181,998,178	\$ 146,663,797	2.91%
Commerical	2,077,461,936	2,087,643,411	10,181,475	0.49%
Industrial	396,217,113	330,521,694	(65,695,419)	-16.58%
Total Real Property	<u>\$ 7,509,013,430</u>	<u>\$ 7,600,163,283</u>	<u>\$ 91,149,853</u>	<u>1.21%</u>
Utilities	<u>430,400,094</u>	<u>544,849,627</u>	<u>114,449,533</u>	<u>26.59%</u>
Assessed Total	\$ 7,939,413,524	\$ 8,145,012,910	\$ 205,599,386	2.59%
Less: Military Exemptions	<u>(14,698,025)</u>	<u>(14,365,036)</u>	<u>332,989</u>	<u>-2.27%</u>
Net Assessed Valuation	\$ 7,924,715,499	45\$ 8,130,647,874	\$ 205,932,375	2.60%

Cedar Rapids Taxable Value Comparative, Without TIFs, FY07 - FY08

<u>Property Type</u>	<u>FY07 Valuation as of Jan. 1, 2005</u>	<u>FY08 Valuation as of Jan. 1, 2006</u>	<u>Amount Increase/ (Decrease)</u>	<u>Percent Increase/ (Decrease)</u>
<u>Real Property</u>				
Residential	\$ 2,259,717,789	\$ 2,298,223,104	\$ 38,505,315	1.70%
Commerical	1,800,958,547	1,839,730,231	38,771,684	2.15%
Industrial	366,993,719	291,308,103	(75,685,616)	-20.62%
Total Real Property	<u>\$ 4,427,670,055</u>	<u>\$ 4,429,261,438</u>	<u>\$ 1,591,383</u>	<u>0.04%</u>
Utilities	<u>310,853,137</u>	<u>364,350,089</u>	<u>53,496,952</u>	<u>17.21%</u>
Assessed Total	\$ 4,738,523,192	\$ 4,793,611,527	\$ 55,088,335	1.16%
Less: Military Exemptions	<u>(14,698,025)</u>	<u>(14,365,036)</u>	<u>332,989</u>	<u>-2.27%</u>
Net Assessed Valuation	\$ 4,723,825,167	4\$ 4,779,246,491	\$ 55,421,324	1.17%

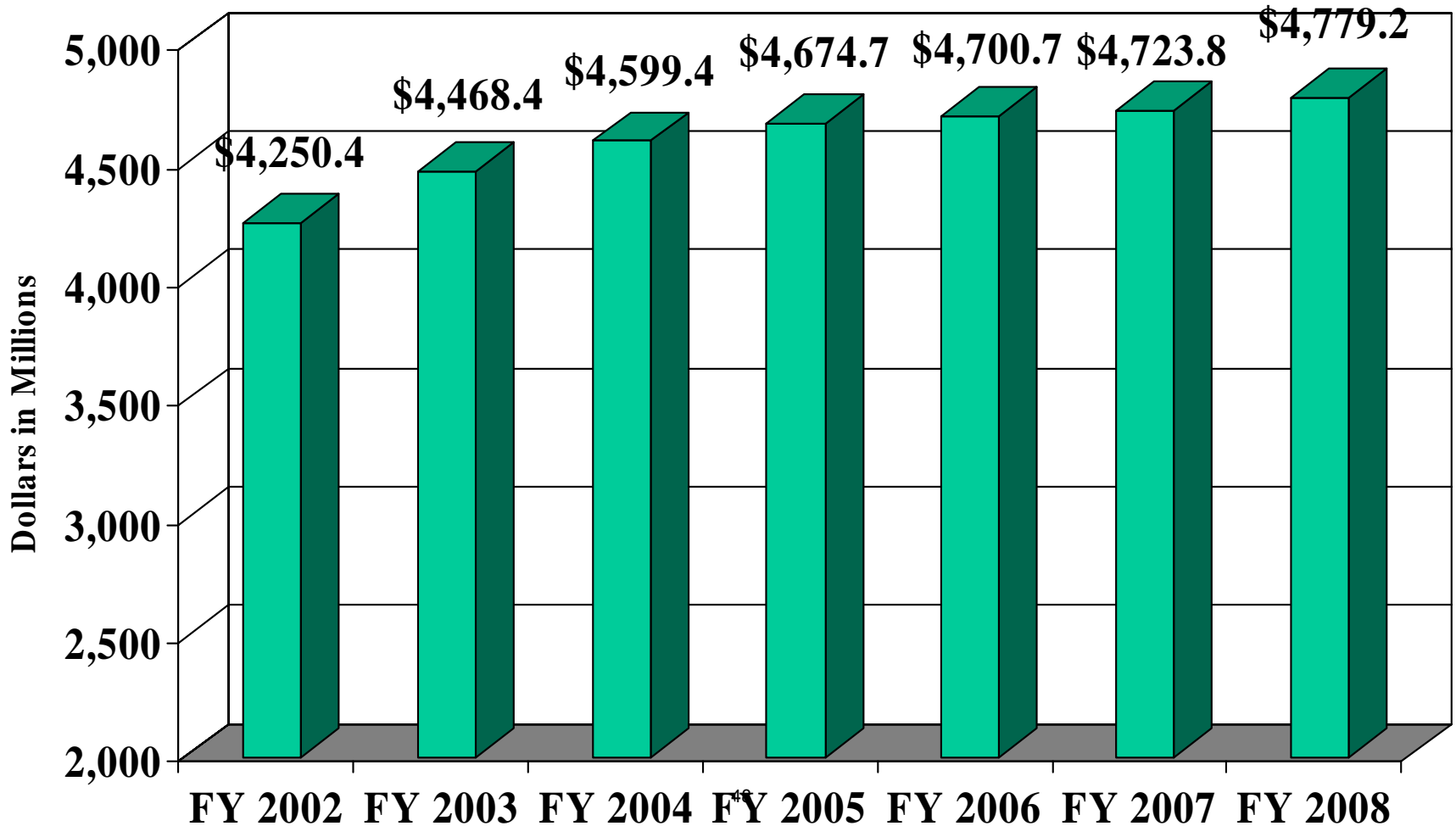
Composition of Taxable Values

FY08 Taxable Value is \$4,779,246,491 Without TIFs

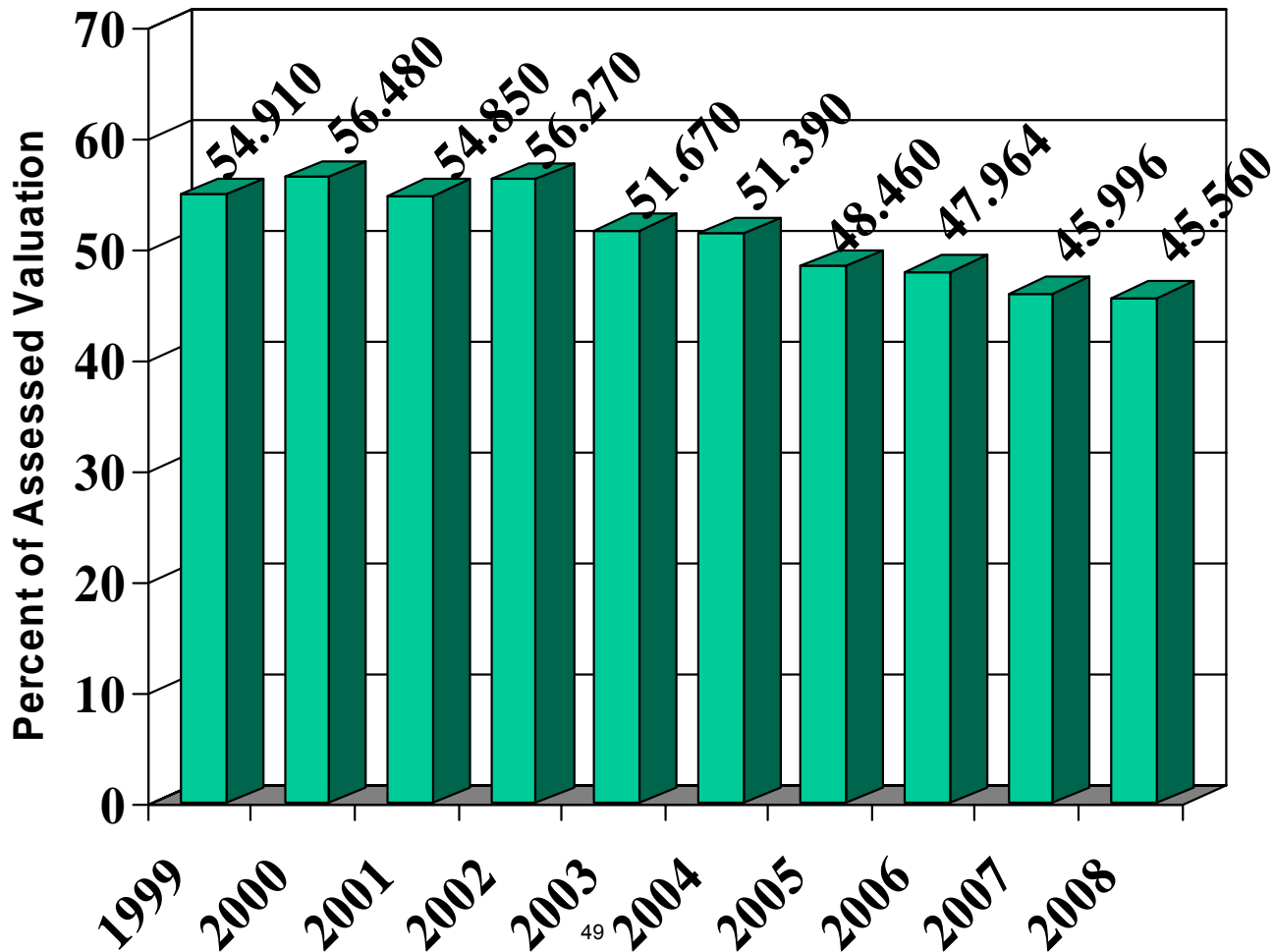


Taxable Value Comparison

FY02 - FY08

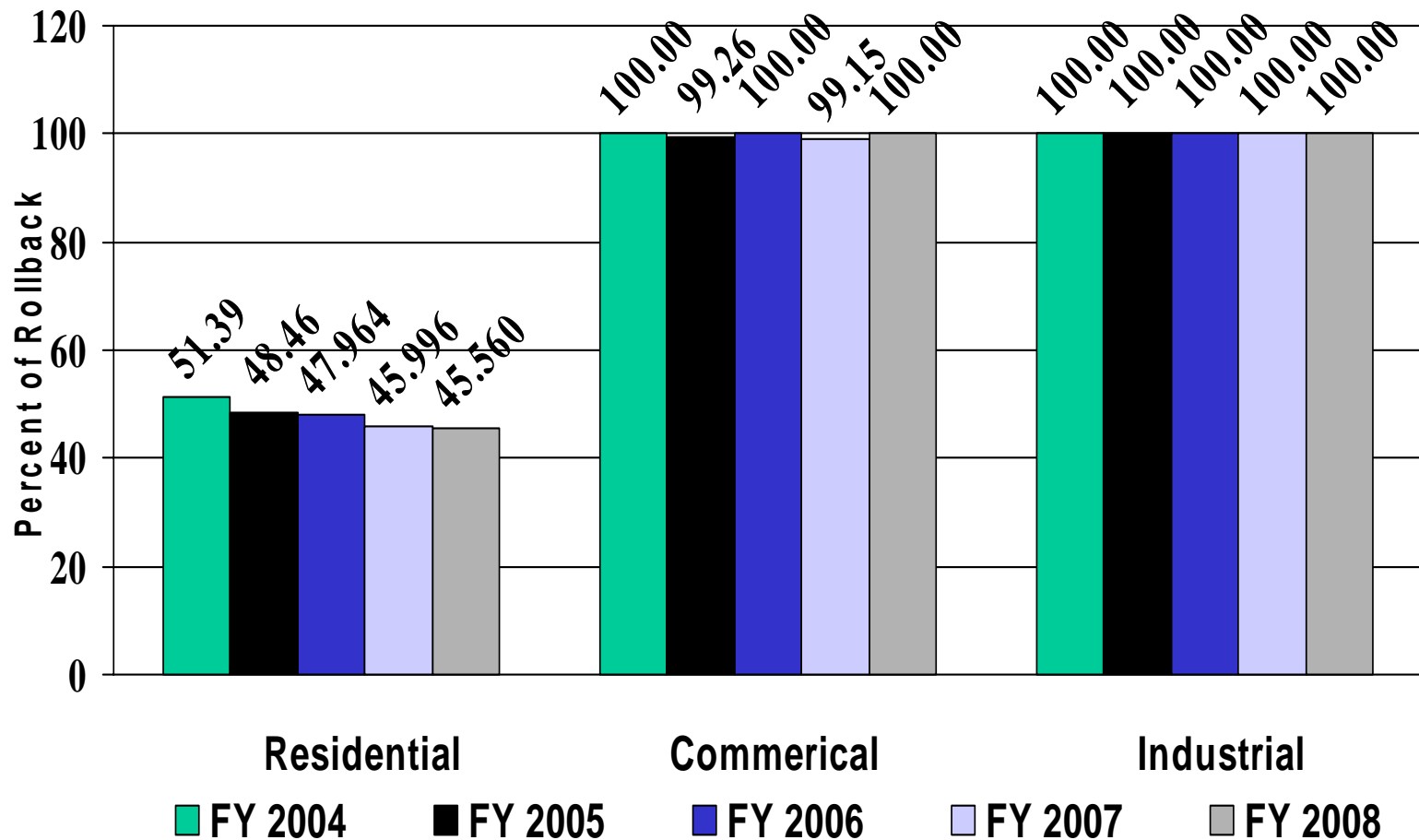


Residential Property Tax Rollbacks, FY99 - FY08



Fiscal Years

Property Tax Rollback History by Type of Property , FY04 - FY08

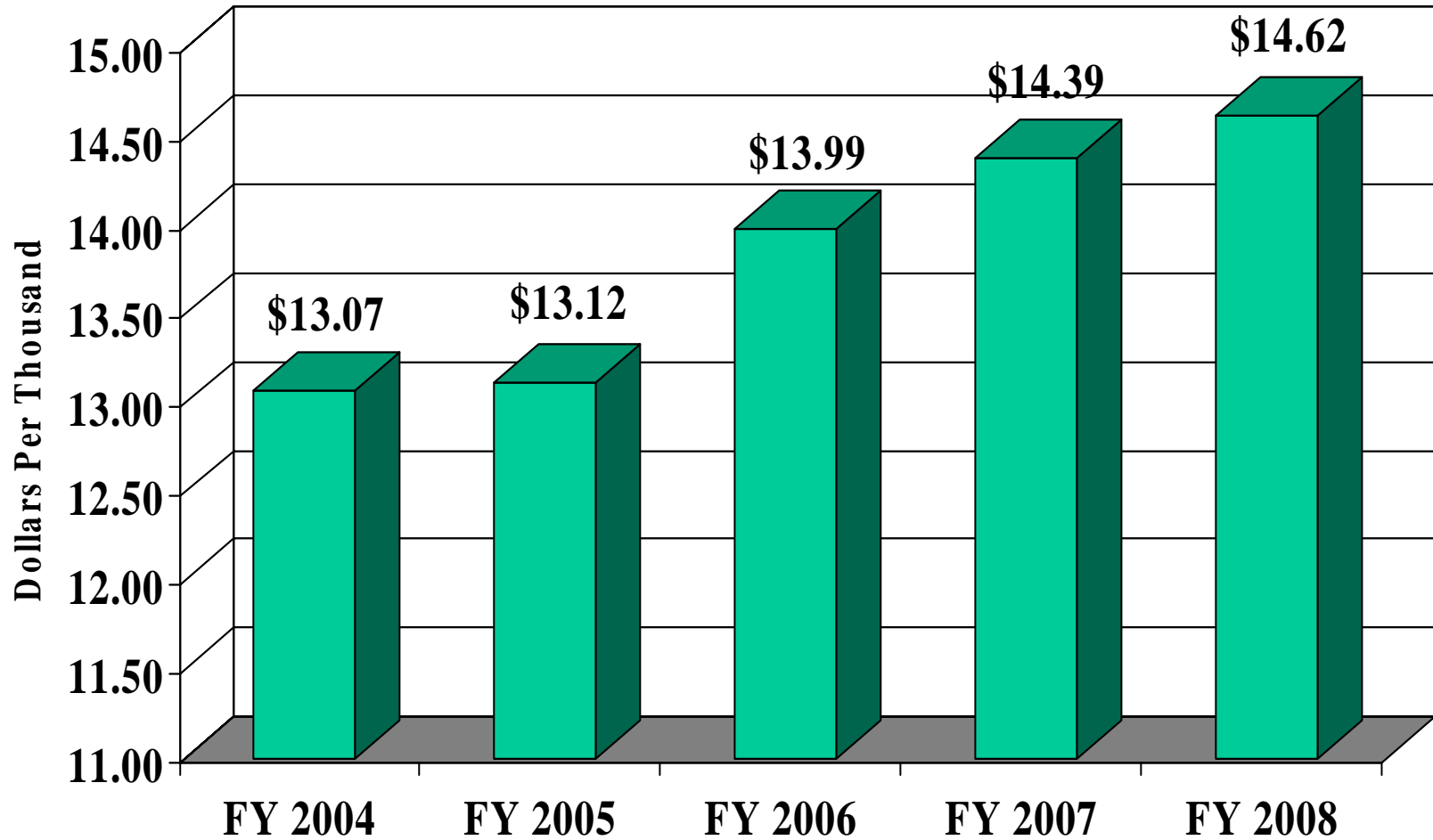


Tax Rates and Tax Levies

Comparative, FY06 - FY08

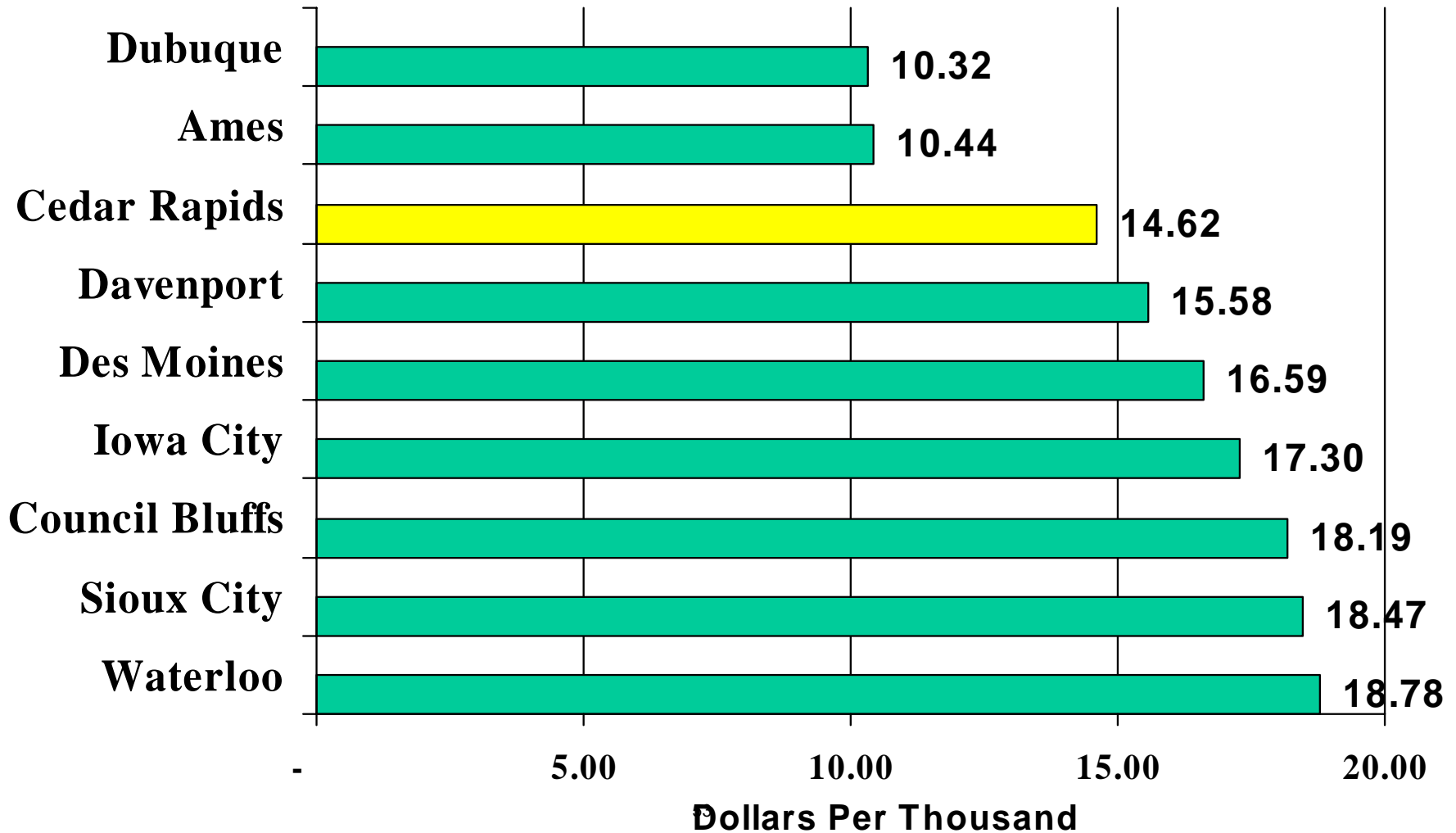
	Rates			Levies			Increase/ (Decrease) Over Prior Year
	FY 2006	FY 2007	FY 2008	FY 2006	FY 2007	FY 2008	
General Levy	\$ 8.10000	\$ 8.10000	\$ 8.10000	38,076,057	38,262,984	38,711,897	\$ 448,913
Band	.01459	.01459	.01459	68,584	68,921	69,729	808
Library - Book Levy	.03999	.04000	.04000	187,983	188,953	191,170	2,217
Memorial	.17988	.17320	.17320	845,570	818,167	827,765	9,598
Total General	\$ 8.33446	\$ 8.32779	\$ 8.32779	\$ 39,178,194	\$ 39,339,025	\$ 39,800,561	\$ 461,536
Trust and Agency							
FICA/IPERS	\$ 1.01806	\$ 0.75820	\$ 0.75820	\$ 5,410,936	\$ 3,581,614	\$ 3,623,625	\$ 42,011
Fire & Police Pension	.49237	.64237	.79237	2,314,507	3,034,444	3,786,932	752,488
Other Benefits	1.62927	2.20445	2.20445	7,033,493	10,413,437	10,535,610	122,173
Total Trust and Agency	\$ 3.13970	\$ 3.60502	\$ 3.75502	\$ 14,758,937	\$ 17,029,495	\$ 17,946,167	\$ 916,672
Debt Levy	1.88100	1.81846	1.89848	\$ 9,403,716	\$ 9,216,423	\$ 9,737,396	\$ 520,973
Bus Levy	0.63481	0.63481	0.63481	\$ 2,984,081	\$ 2,998,731	\$ 3,033,913	\$ 35,182
TOTALS	\$ 13.98997	\$ 14.38608	\$ 14.61610	\$ 66,324,928	\$ 68,583,674	\$ 70,518,037	\$ 1,934,363
Comparatives:							
Dollars Increase (Decrease)					\$ 2,258,746	\$ 1,934,363	
Percent Increase (Decrease)					3.406%	2.820%	
Total Taxable Valuation in Thousands (without TIF)				\$ 4,675,507	\$ 4,700,748	\$ 4,779,246,491	\$ 4,774,545,743
Total Taxable Valuation in Thousands (with TIF)				\$ 4,952,462	\$ 4,999,317	\$ 5,129,048	\$ 129,731

Tax Rates Comparative, FY04 - FY08



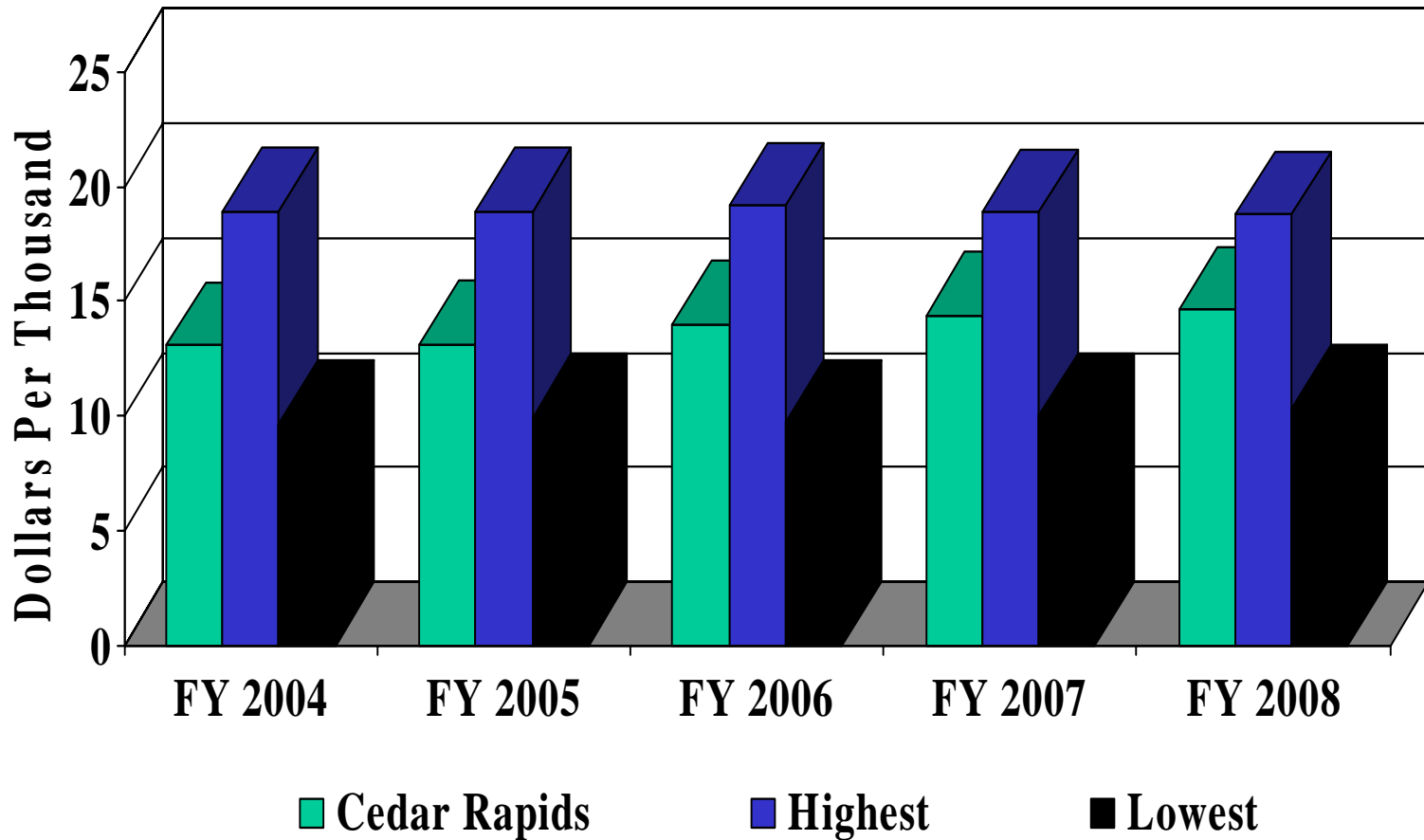
Tax Rate of Iowa's Largest Cities

Comparative, FY08 Tax Rates



Tax Rate Comparative, FY04 - FY08

Cedar Rapids, Highest and Lowest Rates for the Eight Largest Cities



Debt Limit Capacity Comparative

(as of June 30, Fiscal Year Ended)

	<u>FY 2005</u>	<u>FY 2006</u>	<u>FY 2007</u>	<u>FY 2008</u>
Debt Limit	\$ 367,235,948	\$ 375,359,758	\$ 396,235,775	\$ 406,532,394
Less: Outstanding Debt				
Tax Supported	\$ 72,880,300	\$ 75,399,100	\$ 74,302,500	\$ 75,764,800
Non-tax Supported	<u>184,354,700</u>	<u>188,055,900</u>	<u>178,187,500</u>	<u>181,877,200</u>
Total	<u>\$ 257,235,000</u>	<u>\$ 263,455,000</u>	<u>\$ 252,490,000</u>	<u>\$ 257,642,000</u>
Reserve Capacity	\$ 110,000,948	\$ 111,904,758	\$ 143,745,775	\$ 148,890,394
Percent of Reserve Capacity	30.0%	29.8%	36.3%	36.6%

Note: Does not include Capital Leases

City Taxes Paid on Residential Property Valued at \$100,000

Fiscal Year	2004	2005	2006	2007	2008
Levy Rate	\$13.07	\$13.12	\$13.99	\$14.39	\$14.62
Dollars per thousand of assessed value					
Roll Back %	51.39%	48.46%	47.96%	45.996%	45.560%
The portion of your home that is actually taxed.					
Net Tax Rate	\$6.72	\$6.36	\$6.71	\$6.62	\$6.66
The rate you actually pay per thousand dollars of taxable valuation					
Cost per Month	\$55.97	\$52.98	\$55.92	\$55.14	\$55.49
Cost per Year	\$671.67	\$635.75	\$671.02	\$661.70	\$665.91