



Community Development Department
City Hall
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5041
FAX: (319) 286-5130

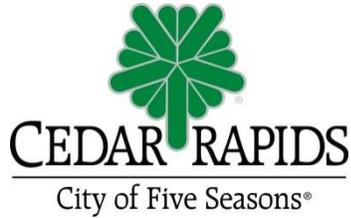
DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE MEETING
November 1, 2016 | 4:00 P.M.
Five Seasons Conference Room
City Services Center | 500 15th Avenue SW
AGENDA

Action/Discussion Items

1. **1228 2nd Street SE**
Papich Kuba Funeral Home (applicant)
 - Building permit review (awnings)

2. **Lot 44 & Sinclair Pump Stations**
City of Cedar Rapids (applicant)
 - Façade & site plan review

Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a City program, service, or activity, should contact Kirsty Sanchez at 319-286-5428 or email k.sanchez@cedar-rapids.org as soon as possible but no later than 48 hours before the event.



Community Development Department
City Hall
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5168

DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE STAFF REPORT

Date: November 1, 2016
Applicant: Papich-Kuba Funeral Home
Owner: Mike Papich
Location: 1228 2nd Street SE
Request: Building Permit Review
Date Application Received: October 24, 2016

EXECUTIVE SUMMARY

The subject property is located at 1228 2nd Street SE and is zoned C-3, Regional Commercial Zone District. The applicant is proposing to install four awnings on the building.

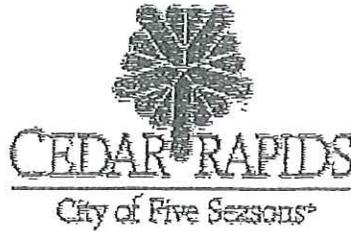
The applicant is seeking recommendations from the Design Review Technical Advisory Committee.

STAFF RECOMMENDATION

Using the attached Overlay District Requirements, the Design Review Technical Advisory Committee shall provide recommendations on the project.

| Standard | Meets Standard | | | Comments |
|--|----------------|---|-----|----------------------------------|
| | Y | N | N/A | |
| SECTION IV: Signage | | | | |
| (a) New signage shall respect the size, scale, and design of the building to which it is attached, and the buildings of the surrounding District. New signage shall not obscure significant architectural details of a historic structure. | X | | | Application meets this standard. |
| (b) All freestanding signs shall be low in height and placed within planting areas that are coordinated with the overall design of the site. Small directional signs under 6 square feet are not required to be in planting areas. | | | X | Not applicable to request. |
| (c) Public art, sculpture, murals, etc. are encouraged in the Czech Bohemia Overlay District. | | | X | Not applicable to request. |
| (d) Acceptable forms of signage include signs integrated into or affixed flat against a building facade, wall signs, projecting signs and monument signs. Other types of signage, including pole signs, may be considered if compatible with the unique character of the District. | X | | | Application meets this standard. |

B # 5982-2016



BUILDING PERMIT APPLICATION
Cedar Rapids Building Services Department
500 15th Ave SW, Cedar Rapids, IA 52404 PH: (319) 286-5831 FAX: (319) 286-5830
E-mail: residential@cedar-rapids.org

| | |
|--|-------------------------------------|
| Location of Project <i>1228 2nd St SE</i> | |
| This project is a: <input type="checkbox"/> Single Family Dwelling <input type="checkbox"/> Multiple Dwelling <input type="checkbox"/> Multi-Unit <input checked="" type="checkbox"/> Commercial | |
| Other | |
| This project is: <input checked="" type="checkbox"/> New <input type="checkbox"/> Remodel <input type="checkbox"/> Addition <input type="checkbox"/> Repair <input type="checkbox"/> Re-Side <input type="checkbox"/> Free-Standing Deck | |
| Description of Work To Be Done <i>Awnings Addition to windows of windows</i> <i>N/A</i> | |
| Owner of Property <i>Mike Pepich</i> | Address <i>1228 2nd St S.E.</i> |
| Contractor <i>Kevin Costigan</i> | Address <i>11910 16th Ave SW</i> |
| Architect/Engineer | Address |
| Valuation <i>2000</i> | Permit Fee |

Applicant, being duly sworn, deposes and says that he is the owner, or that he is authorized and empowered to make affidavit for the owner, who makes the accompanying application; that the application, plat, plans and specifications are true and contain a correct description of the proposed building, lot and work, and use to which building is to be placed. Subject to deed restrictions. Subject to all Government Regulations.

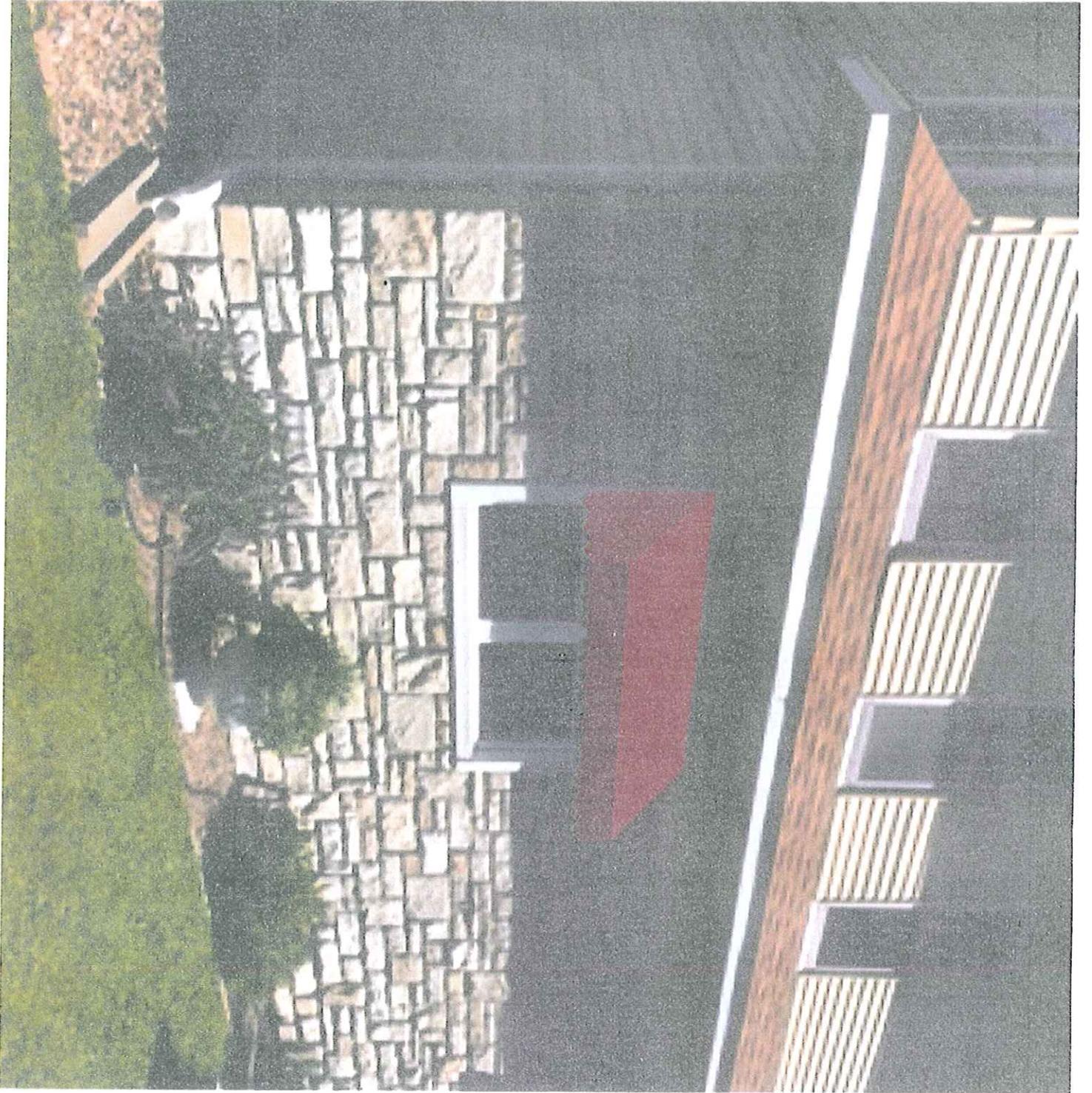
Signature of Applicant: *Kevin J. Costigan* Date: *10-24-2016*

E-Mail Address: *Costigan@Netins.net* Phone: *319 446-6145*

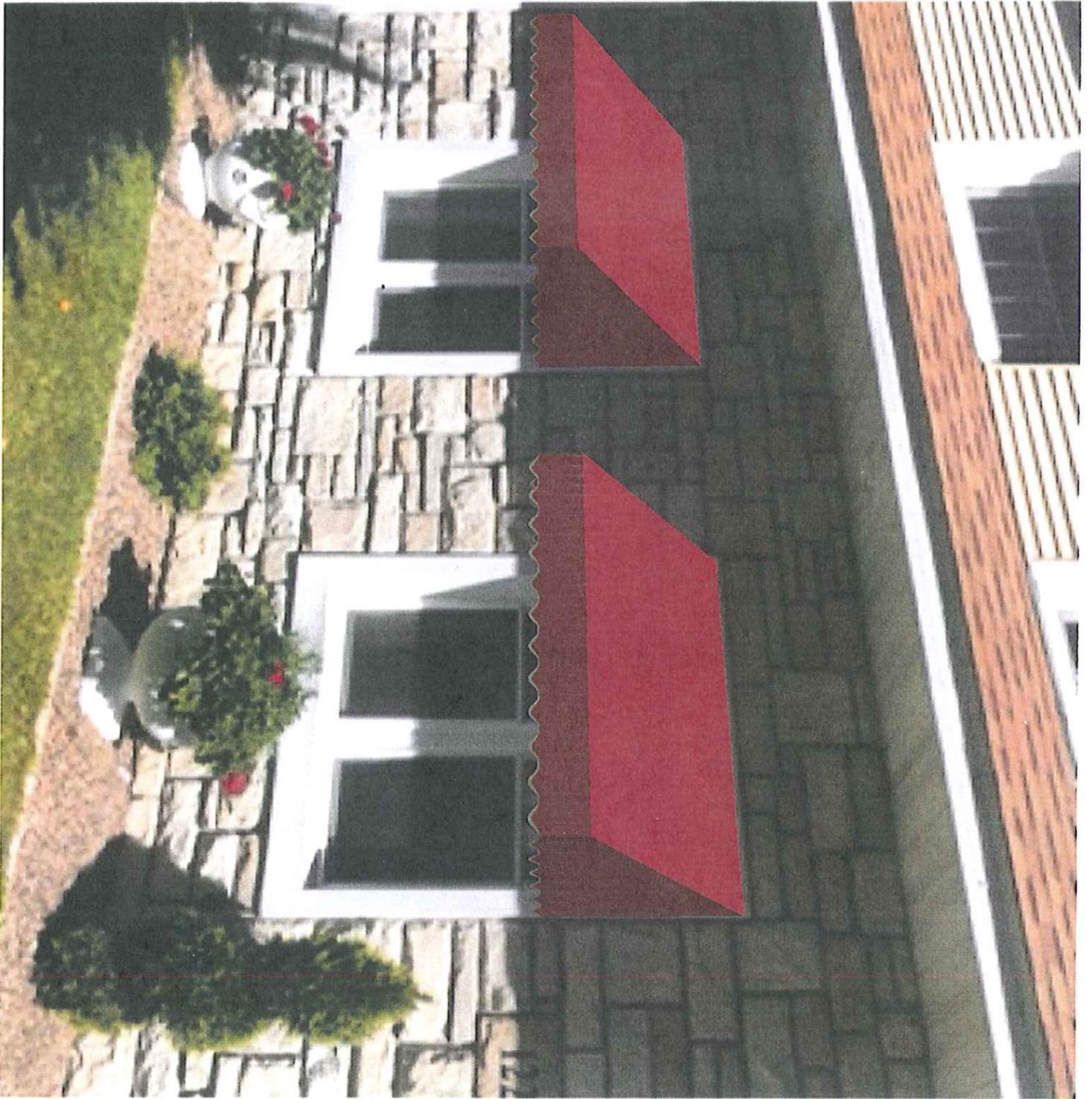
This application and any permit that may be granted in response thereto are subject to all the laws of the State of Iowa and all ordinances for the City of Cedar Rapids, Iowa, that may have a bearing on the same.

Building Approval: *[Signature]* Approved Date: *10-24-16*

Zoning Approval: *[Signature]* Approved Date: *10/24/16*



#1
West



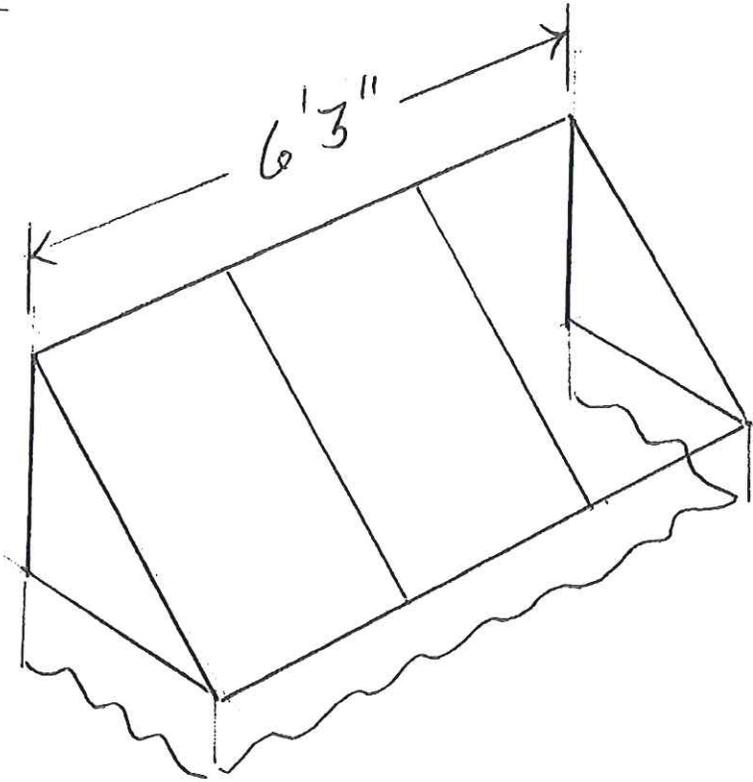
#2

West

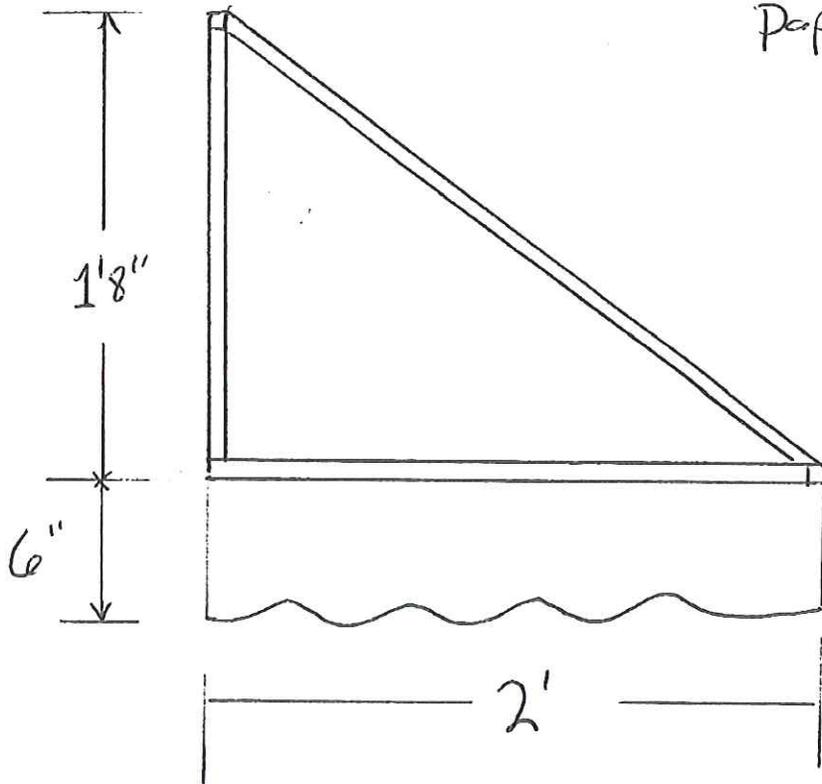
#3

1 Awning

West

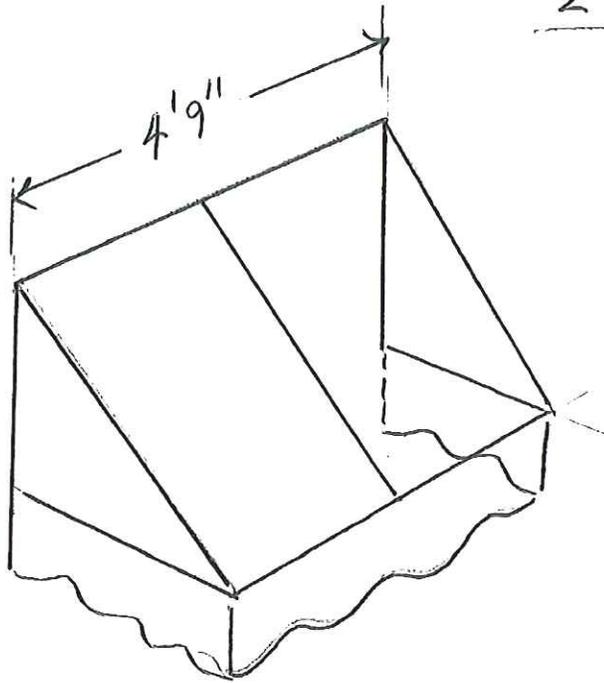


Davelong Protective Products
Papich - kuba Funeral



West

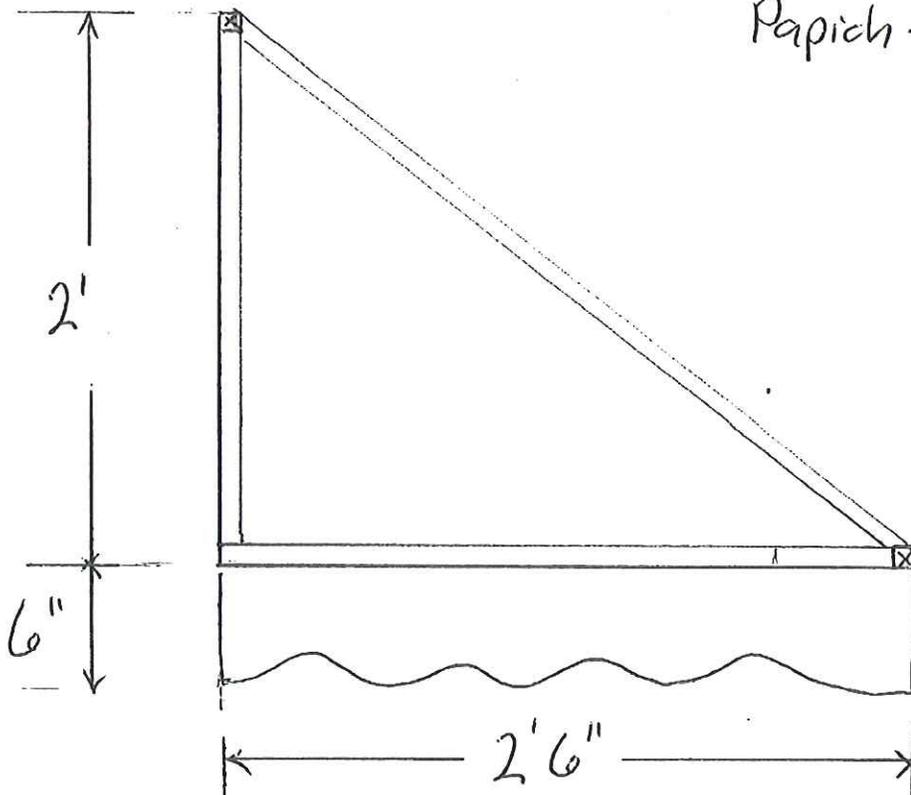
2 Awnings



Alum Frame

Topcons

Davelong Protective Products
Papich - Kubra Funeral



10-24-16
WAW



#4

#1

JANUARY

140

5

1222

60

4

1222

30

1222

DEVELOPMENT SERVICES

City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Zoning (319) 286-5836
Fax (319) 286-5830

PERMIT NO: 5984-2016
FEE: \$ 25⁰⁰

APPLICATION for SIGN PERMIT

SITE PLAN MUST BE INCLUDED WITH APPLICATION SHOWING SIGN DIMENSIONS, HEIGHT ABOVE GRADE AND ANY/ALL EXISTING SIGNAGE ON THE LOT
(Site Plan Attached)

Approval DOES NOT COVER OR PERMIT any signs, trim or ornamentation, which is not shown on the approved drawings. (Artwork Attached)

SETBACKS ARE MEASURED FROM LOT LINES OR PROPOSED RIGHT-OF-WAYS, "NOT" CITY SIDEWALKS, STREETS, CURBS, ALLEYS OR "FENCES". APPLICANT IS RESPONSIBLE FOR LOCATING LOT LINES. NO PERMANENT SIGN OR SIGN STRUCTURE SHALL BE LOCATED IN OR OVERHANG ONTO AN EASEMENT

Application is hereby made for a permit to do the following work.

INSTALL REFACE REPAINT RELOCATE ON-PREMISE OFF-PREMISE State Permit NO. _____ (if applicable)

OTHER DOUBLE FACE TEMP SIGN (Valid for 1-yr), BANNER (Valid for 1-yr, not to exceed 32 sq. ft. Installed & safely secured to the building wall or approved existing, permanent sign structure - with Zng approval.)

AWNING WALL GROUND POLE PROJECTING ROOF OTHER

PRIMARY OCCUPANCY FRONTAGE, _____ ft. PRIMARY LOT FRONTAGE, _____ ft.

SECONDARY OCCUPANCY FRONTAGE, _____ ft. SECONDARY LOT FRONTAGE, _____ ft.

Note: Message center shall be limited to directing attention to a specific business, product, service, entertainment event or activity, or other commercial activity that is sold, produced, manufactured, furnished or conducted at the property upon which the sign is located. Message Center may also include time, temperature, weather information and non-commercial public service messages.

Sign Location: 1228 2nd St SE, Cedar Rapids, Iowa, for owner occupant

Business & Contact name Papich Kuba Funeral Home

address: 1228 2nd St S.E. Use District _____

Type of business: Funeral Home

SIGN: Surface area 11 ft. by 1 ft., Area _____ sq. ft., Weight 20 lbs. Thickness _____ inches,

Ht. above grade (Vertical distance to bottom of sign) 6'6" ft., Overall ht. from grade 7 ft., Projection 1 ft.

In consideration for the approval of this application and the granting of a permit, we hereby agree to install the sign(s) in compliance with applicable codes and regulations of the City of Cedar Rapids, Iowa; the applicant further agrees that he will hold said City harmless from any and all claims for damages of any kind or character, defend any action that may be brought against said City, and pay all damages that may be assessed, including costs, should any damage occur through either the erection, use or maintenance of said sign(s).

Sign Contractor: Kevin Costigan Signature: Kevin Costigan Date 10-24-2016

Electrical: Illuminated, Flashing, Steady lighting Contractor: _____

Traffic Engineer: _____ Date: _____

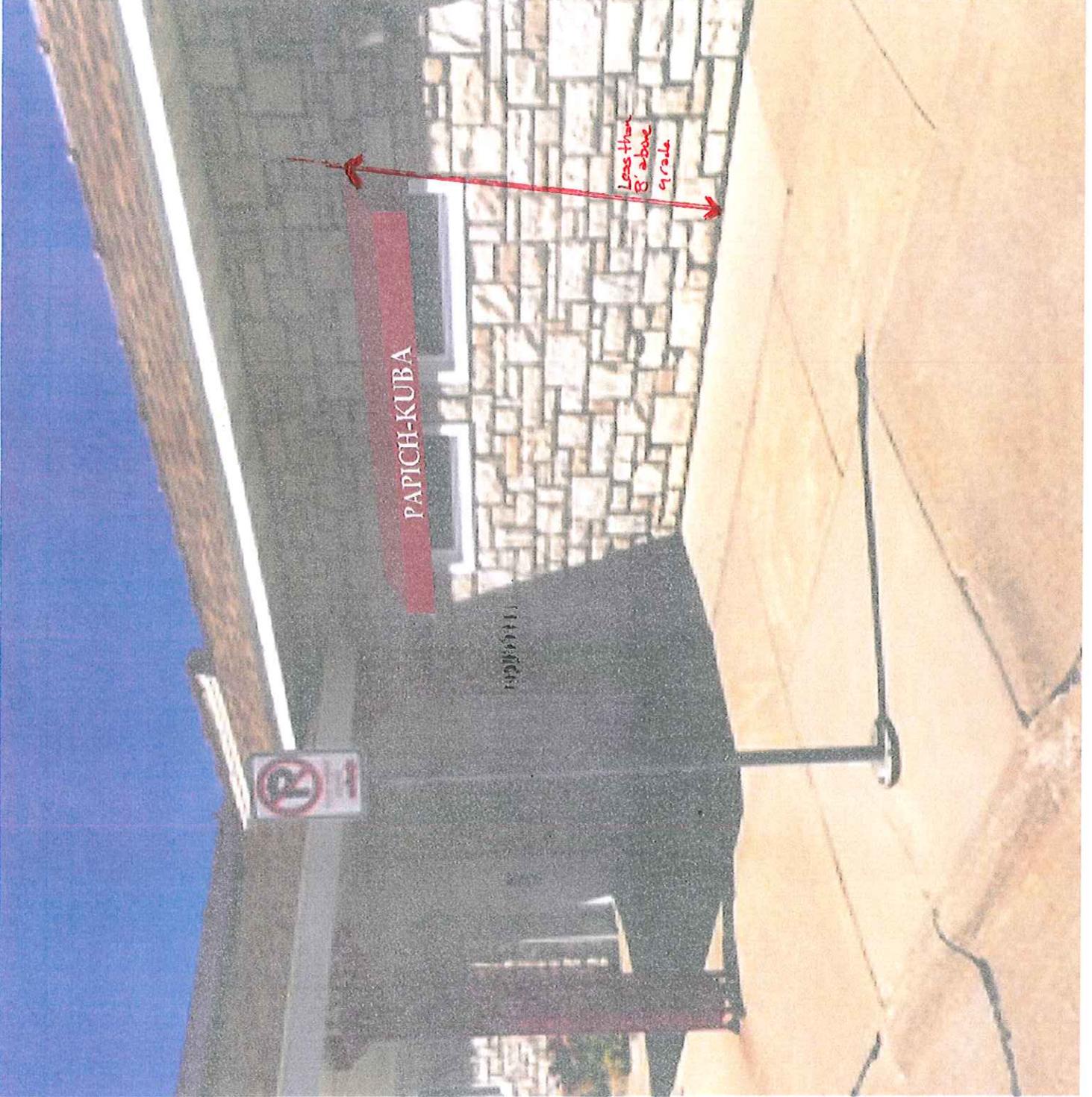
Zoning Inspector: _____ Date: _____

Other Review Comments: _____

#4
Sign Permit
required

To South

Alum Frame

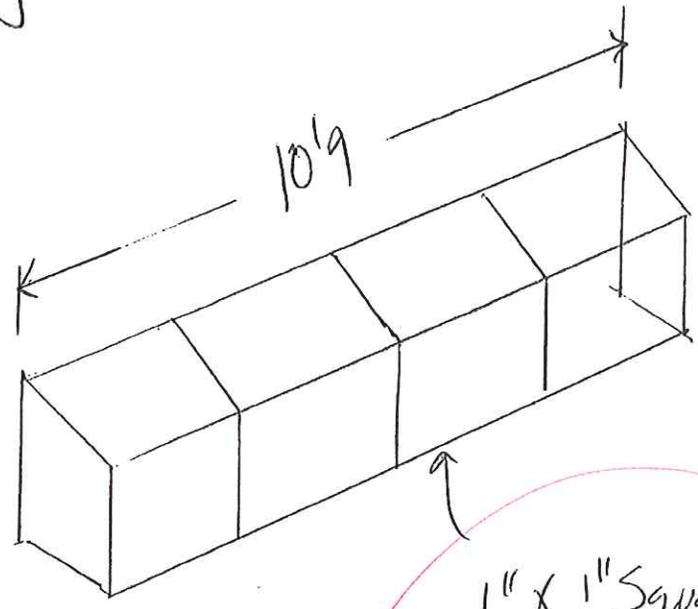




South Awning

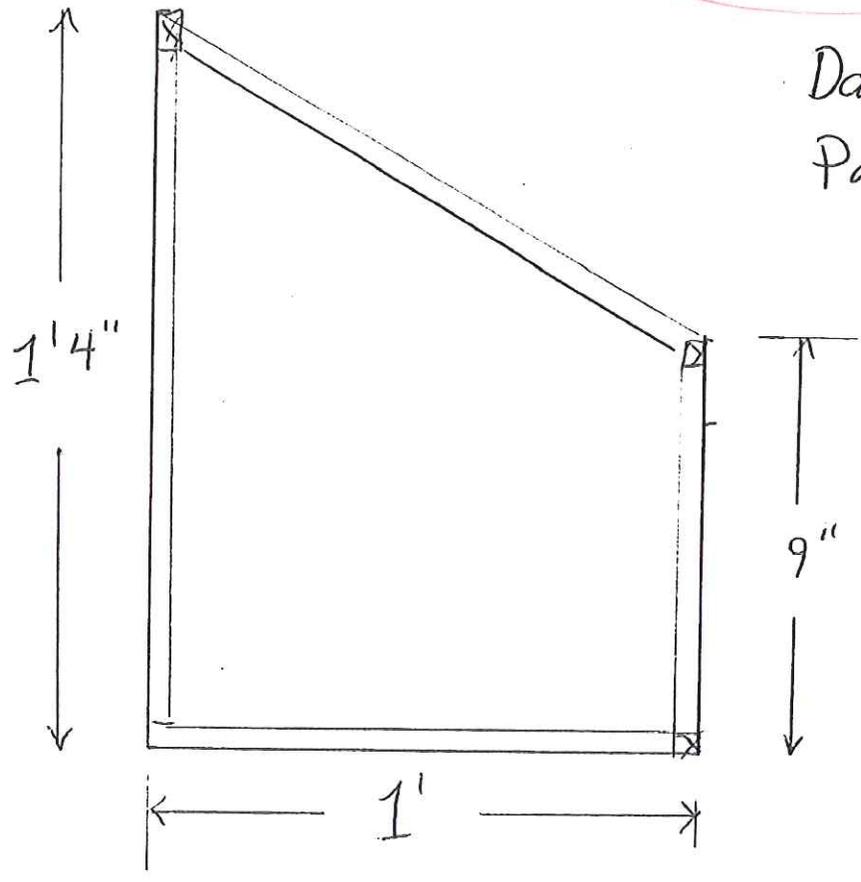
#4 Awning

Sign permit required



10-24-16
DMM

1" x 1" Square galvanized steel welded frame



Dave Long Protective Products
Papish - Kubak Funeral



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City Hall
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5168

DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE STAFF REPORT

Date: November 1, 2016
Applicant: City of Cedar Rapids
Owner: City of Cedar Rapids
Location: Lot 44 & Sinclair Site
Request: Façade & Site Plan Review
Date Application Received: October 31, 2016

EXECUTIVE SUMMARY

The subject properties are located at Lot 44 and the Sinclair Site. The applicant is proposing to construct two pump stations for the Flood Control System.

This request was reviewed by the Historic Preservation Commission (HPC) on October 27th. The HPC provided the following recommendations:

Lot 44 Pump station

- This should be called the New Bohemia Pump Station as opposed to lot 44 pump station or 10th Avenue pump station or whatever else
- Match the brick color and general size of the brick look to that of the Czech school (the historic part, not the later box style additions to it)
- The mortar between the bricks should not be bright white, but should have less contrast with the bricks (use dark mortar)
- Ensure the generator is elevated or on some type of pad in case water rises
- One rendering showed a belt course in the middle of the building all the way around and the rendering showed a skirting of a limestone looking material. The commission thinks both should be included.
 - Limestone color on the trim (skirting, belt course and parapet), but it doesn't necessarily need to be limestone, some substitute material would be ok
- Regarding the wrought iron fencing around the generator on the outside of the building, if the brick wall could be continued to conceal the generator more than would be preferred. Some sort of taller landscaping would also be ok with the commission if the wrought iron fence is to remain as shown.

Sinclair Pump Station

- The trees which conceal the station should be as tall as practically possible, evergreens

are a good choice.

- They like this name since it pay homage to the former Sinclair Plant on the site.

The applicant is seeking recommendations from the Design Review Technical Advisory Committee.

STAFF RECOMMENDATION

Using the attached Overlay District Requirements, the Design Review Technical Advisory Committee shall provide recommendations on the project.

| Standard | Meets Standard | | | Comments |
|--|----------------|---|-----|---|
| | Y | N | N/A | |
| SECTION I: Building Massing, Orientation, & Site Design | | | | |
| (a) Commercial buildings shall be constructed with a 10 foot maximum setback (including building plinths). New construction should be pedestrian friendly. | | | X | |
| (b) Multi-family buildings shall be constructed with setbacks that lie within the established setback range of the district with care taken to existing buildings on the block. | | | X | |
| (c) Buildings shall be placed close to streets, drives and other buildings. Pedestrians shall be able to easily travel between buildings on clearly defined pedestrian paths, not parking lot driveways. | X | | | |
| (d) Service/loading areas should not be located near primary entrances to buildings. | | X | | The building is constructed into the levee. The loading area cannot be located in the rear of the building. |
| (e) Building shall be oriented towards the street with a pedestrian entrance facing the street encouraged. | X | | | |
| (f) Building scale and massing shall maintain a relationship with adjacent structures to create building street walls along streets, drives and sidewalks where possible. Building massing shall be consistent with the City's Comprehensive Plan, adjacent structures, and the character of the District. | X | | | |
| (g) Proposed facades wider than the established historic range of the block upon which the proposed development is to be located may be permitted, but design features shall be included to mimic traditional building widths of 50 feet or less. Changes in façade material, building height, window style or architectural detail are examples of techniques that may be permitted to break up a façade. | X | | | |
| (h) Multi-story buildings are encouraged. Single-story commercial buildings shall take adjacent building heights into consideration. These should be constructed with high ceilings or parapet walls to create a greater feeling of enclosure along the street and to compliment horizontal elements of adjacent buildings. | X | | | |
| (i) Buildings shall hold the corners of intersections where possible to enhance the sense of enclosure and pedestrian-orientation of the commercial area. Building heights at the corners of intersections may exceed those of the surrounding block. | | | X | |

| Standard | Meets Standard | | | Comments |
|--|----------------|---|-----|---|
| | Y | N | N/A | |
| (j) The required screening of mechanical, loading, trash, and utilities shall complement materials used on the adjacent building. Brick or decorative stone in combination with decorative fencing and landscaping is preferred. | X | | | |
| (k) Site plans should conform to the Pedestrian Friendly Site Design standards of the Commercial and Office Building Placement Guidelines section of the ordinance. | | X | | |
| (l) Parking should be located behind buildings when feasible. Parking lots adjacent to sidewalks are discouraged. Additional landscaping and architectural elements shall be required for parking lots adjacent to sidewalks to help contribute to an attractive streetscape. | | X | | The building is constructed into the levee. The parking area cannot be located behind the building. |
| (m) Where feasible, parking lots shall be linked between sites to reduce the need for district visitors to drive between adjacent stores and services. Shared parking between parcels is encouraged, and parking should be coordinated and signed appropriately to avoid user confusion. | | | X | |
| SECTION II: Building Design | | | | |
| (a) Building design and architectural style create and enhance the character of the Czech Bohemia Overlay District for pedestrians and motorists. A range of architectural styles is preferred. However, all buildings should be designed with common elements: | | | | |
| (i) Open glass storefronts (where retail is provided) or public entrances (other non-residential development) <i>Required for street frontages. Encouraged for interior elevations.</i> | | | X | |
| (ii) Clearly defined entrances to ground and upper floors (if applicable) <i>Required for street frontages and interior elevations.</i> | X | | | |
| (iii) Sign bands and awnings incorporated into the design and scale of the buildings <i>Required for street frontages and interior elevations. Encouraged for lot line elevations.</i> | | | X | |

| | | | | |
|---|---|--|--|--|
| (iv) Upper floor windows <i>Required for street frontages and interior elevations.</i> | X | | | |
|---|---|--|--|--|

| Standard | Meets Standard | | | Comments |
|---|----------------|---|-----|----------|
| | Y | N | N/A | |
| (b) Variations in rooflines are encouraged add interest to buildings and reduce the massive scale of large buildings. Buildings which are taller than adjacent structures by more than 1 story should consider the use of upper-floor setbacks, dormers or other architectural features to soften the transition between structures. <i>Each site is unique and the use of transitional architectural elements may not be necessary in all cases. Developers are encouraged to consult with adjacent property owners as part of the project development.</i> <i>Required for street frontages. Encouraged for interior and lot line elevations.</i> | | | X | |
| (c) The top edge of the building shall be defined by a cornice line or similar articulation. <i>Required for street frontages and interior elevations.</i> <i>Encouraged for lot line elevations.</i> | X | | | |
| (d) Windows and doors shall be located, spaced and aligned on the building facade in a manner consistent with the established context of the block. <i>Required for street frontages. Encouraged for interior elevations.</i> | X | | | |
| (e) The sizes of windows and doors shall be consistent with the proportions of historic buildings in the District. <i>Required for street frontages. Encouraged for interior elevations.</i> | X | | | |
| (f) Highly reflective, opaque or darkly tinted glass shall not be used for windows or doors around public entrances. <i>Required for street frontages and interior elevations.</i> | X | | | |
| (g) Rear building entrances and facades shall be designed in a manner consistent with the front and a side facade, especially when parking is behind buildings. <i>Required for interior elevations. Encouraged for lot line elevations.</i> | | | X | |

| | | | | |
|--|--|--|---|--|
| (h) Entrances into commercial buildings should not be recessed more than five feet from the exterior building wall. <i>Required for street frontages and interior elevations.</i> | | | X | |
|--|--|--|---|--|

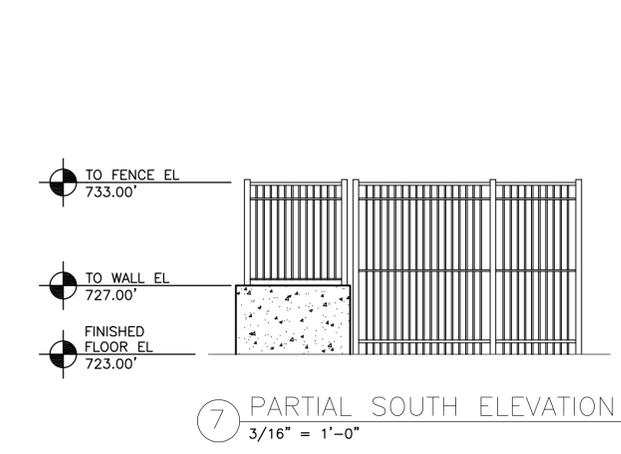
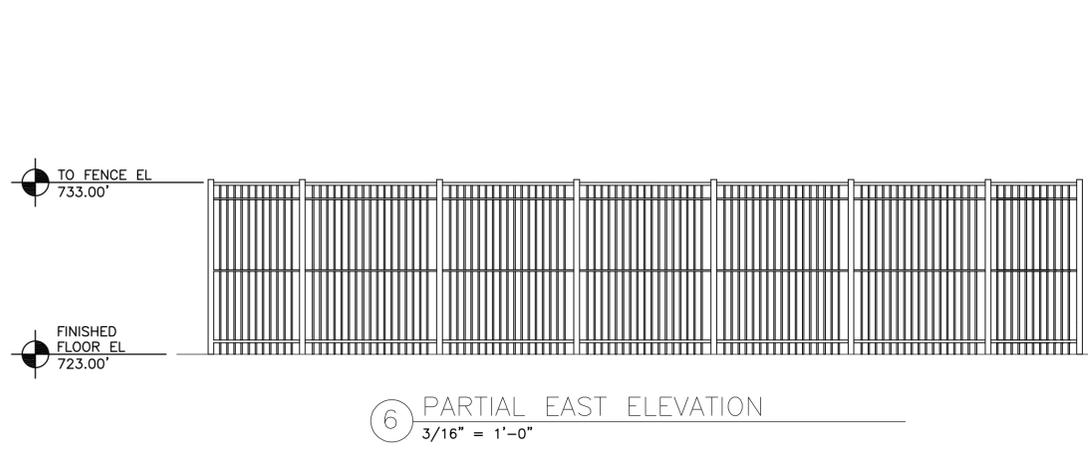
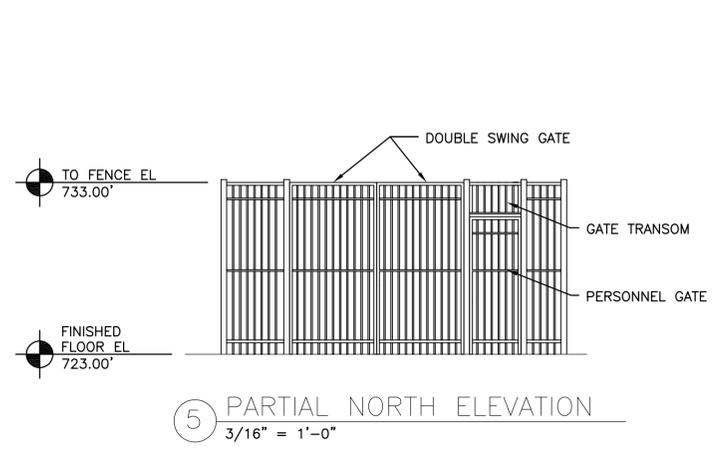
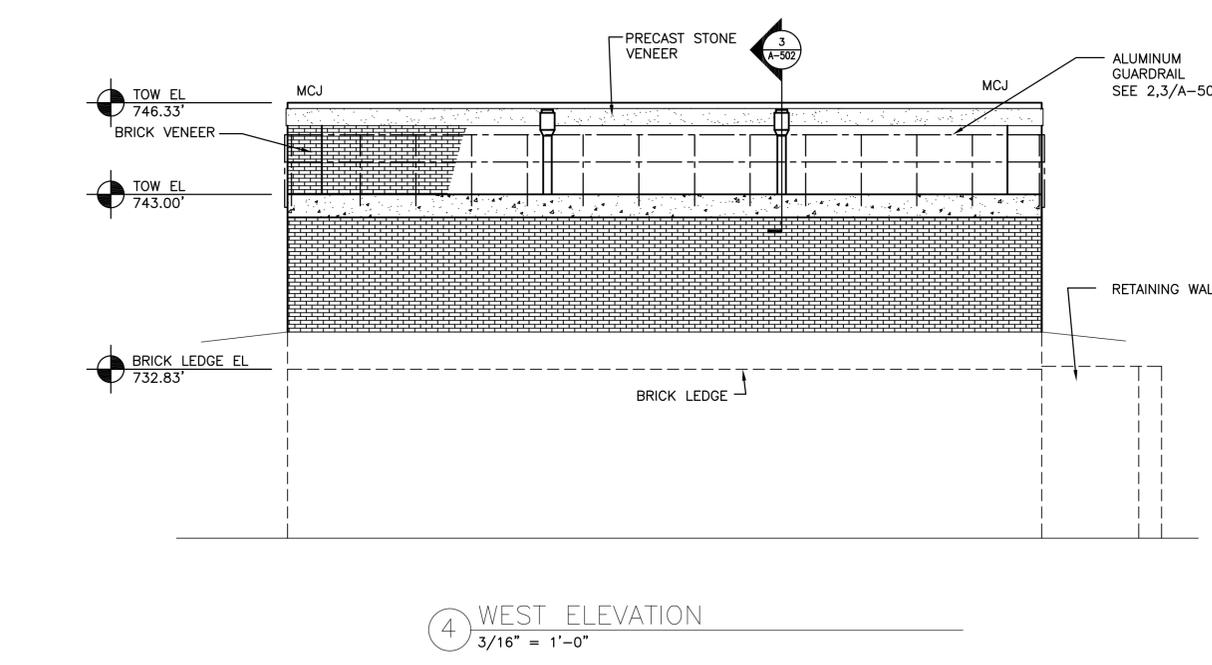
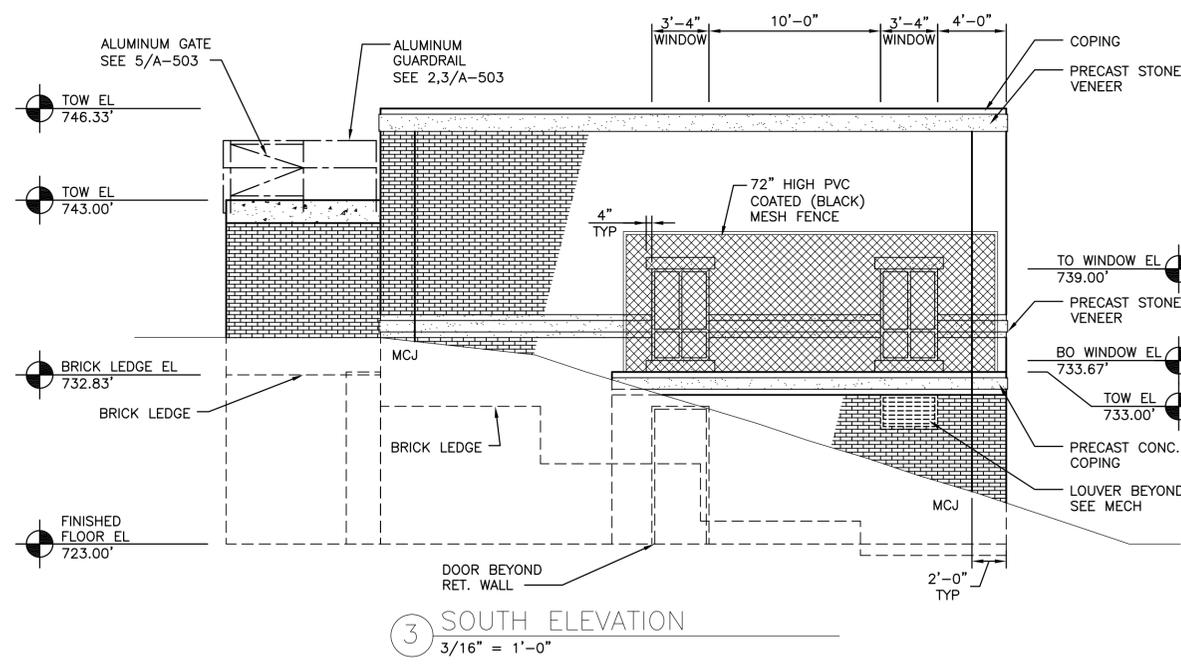
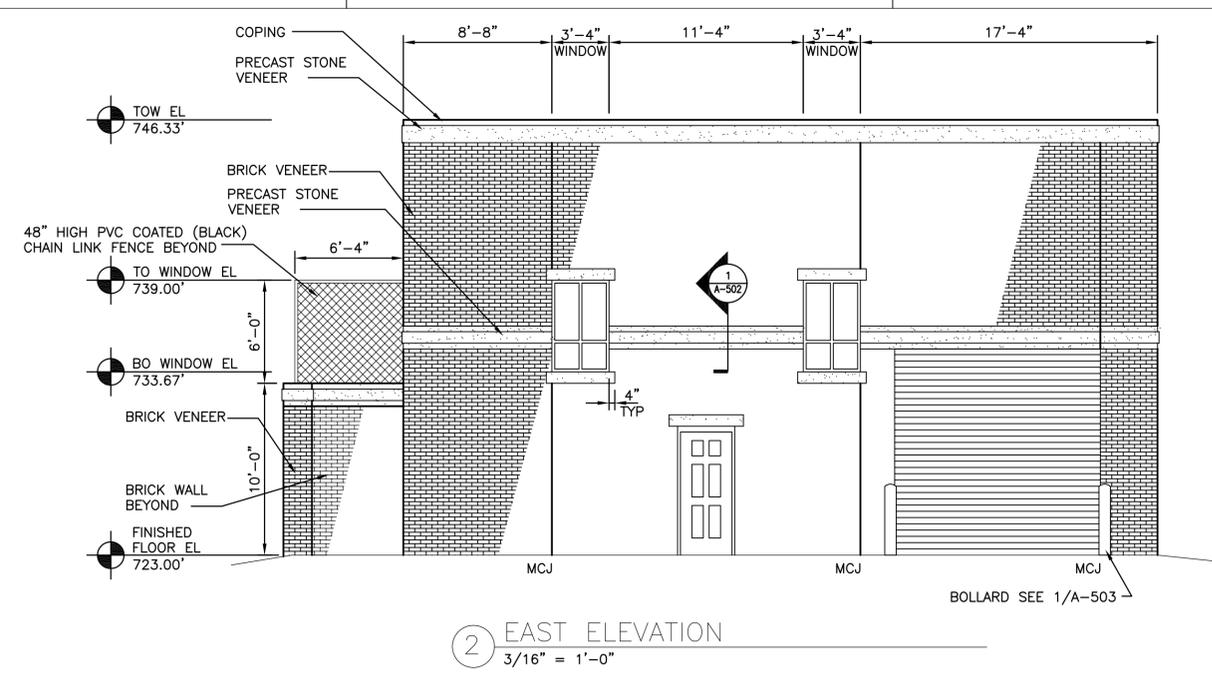
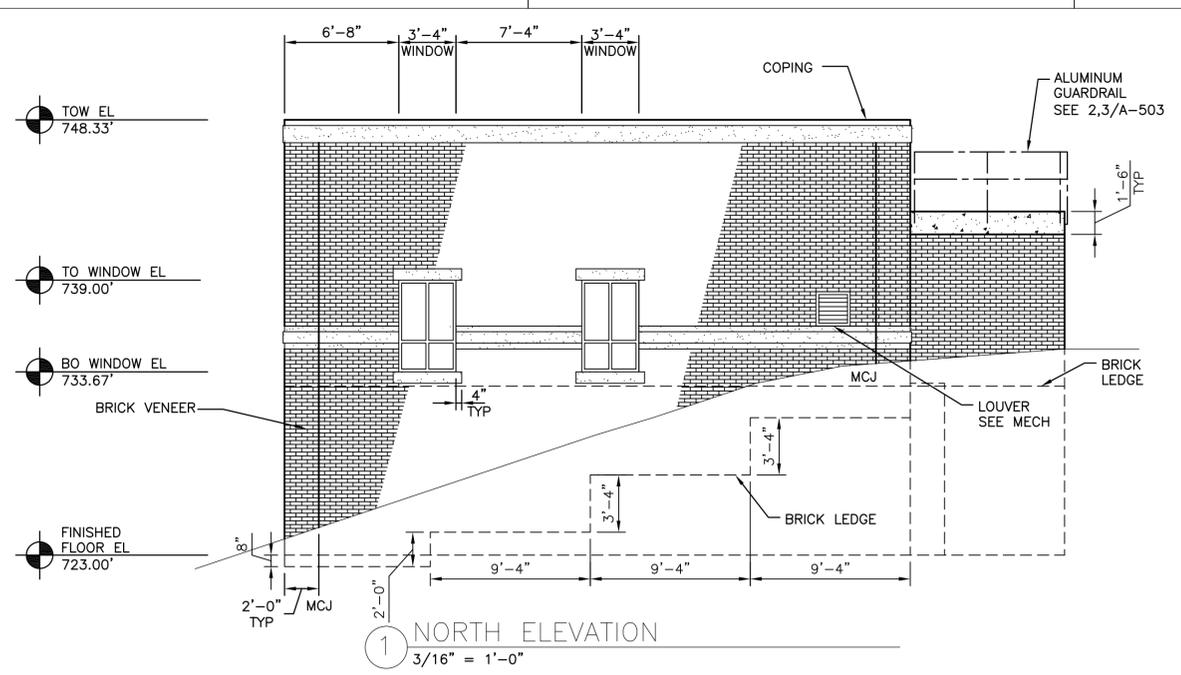
| Standard | Meets Standard | | | Comments |
|---|----------------|---|-----|----------|
| | Y | N | N/A | |
| (i) Buildings shall primarily be constructed of high-quality materials such as brick, stone, split face block masonry, architectural paneling, and glass. Exterior finish insulation systems (EFIS), stucco and vinyl may be used on upper floors but use should be limited on the ground level. Concrete block, metal or plywood should not be used on building facades or on walls that are visible from streets, driveways, sidewalks or parking areas. <i>Required for street frontages and interior elevations. Encouraged for lot line elevations.</i> | X | | | |
| (j) At a minimum 60% of the building elevation dedicated to non-residential uses should be windows, doors, and fenestration. <i>Residential elevations may have smaller window sections. To the extent possible street-facing facades should meet this requirement. Windowless walls necessary due to the function of the building should be placed along interior elevations. Required for street frontages. Encouraged for interior elevations.</i> | | X | | |

| SECTION III: Site Furnishings & Landscaping | | | | |
|---|--|--|---|--|
| (a) Visual continuity within the district is important. Site furnishings and other amenities significantly contribute to the overall image of the district. Site furnishings should be made of quality materials and complement the character of the District. These elements include approved benches, waste receptacles, planters, railings, bollards, bike racks, and tree grates. <i>As streetscape projects occur within the Czech Bohemia Overlay District a standardized style of street furnishing may be developed. At this time there are no approved, or preferred bench styles within the district. Projects adjacent to recent streetscape projects are encouraged to mimic the style and type of on-street furnishings with any furnishing provided on-site.</i> | | | X | |

| | | | | |
|--|-----------------------|----------|------------|-----------------|
| (b) Site furnishings are encouraged to be provided in pedestrian spaces such as building entrances, along walkways and in pedestrian plazas and seating areas. | | | X | |
| (c) Fencing shall be constructed of compatible materials that complement adjacent structures. The use of chain link fencing is not permitted within the Overlay District. | X | | | |
| Standard | Meets Standard | | | Comments |
| | Y | N | N/A | |
| SECTION IV: Signage | | | | |
| (a) New signage shall respect the size, scale, and design of the building to which it is attached, and the buildings of the surrounding District. New signage shall not obscure significant architectural details of a historic structure. | | | X | |
| (b) All freestanding signs shall be low in height and placed within planting areas that are coordinated with the overall design of the site. Small directional signs under 6 square feet are not required to be in planting areas. | | | X | |
| (c) Public art, sculpture, murals, etc. are encouraged in the Czech Bohemia Overlay District. | | | X | |
| (d) Acceptable forms of signage include signs integrated into or affixed flat against a building facade, wall signs, projecting signs and monument signs. Other types of signage, including pole signs, may be considered if compatible with the unique character of the District. | | | X | |

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\$DATE\$ \$FILE\$ \$TIME\$ \$USER\$



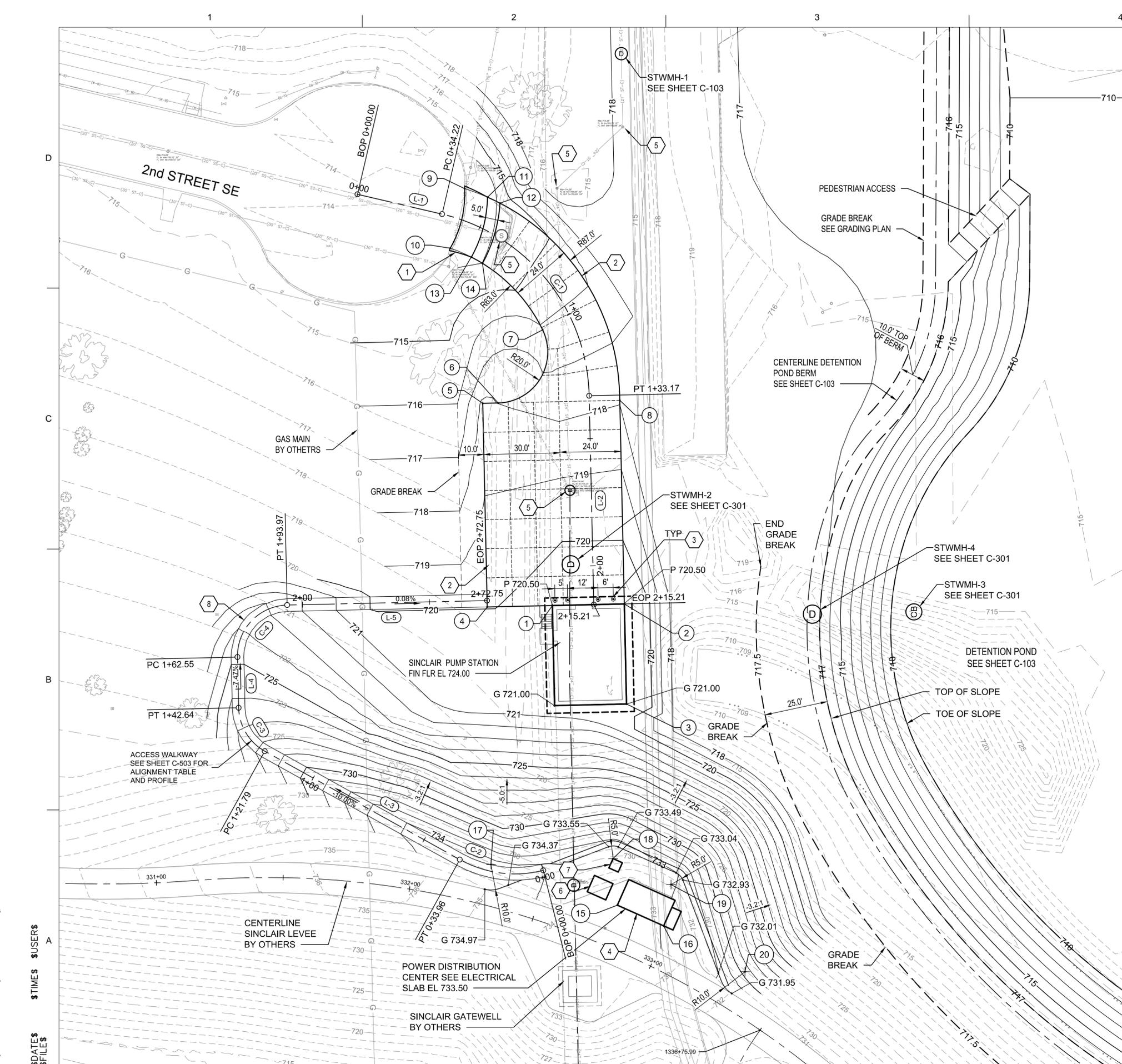
| DATE | DESCRIPTION | MARK | APPR. |
|--------|----------------|------|-------|
| 3-8-16 | ISSUED FOR BID | ME | |

| | | |
|------------------|----------------|-------------------|
| DESIGNED BY: | CHK BY: | SOLICITATION NO.: |
| DRN BY: | INSP BY: | CONTRACT NO.: |
| SUBMITTED BY: | DATE: | PROJECT CODE: |
| MIKE BUTTERFIELD | 3/2/2016 | FP44 |
| PLOT SCALE: | FILE NAME: | |
| SIZE: | ANSI D: | |
| | ER303A-201.dwg | |



IOWA RIVER BASIN
CEDAR RIVER
CEDAR RAPIDS, IOWA
FLOOD RISK CONTROL SYSTEM PROJECT
NEWBO / PARKING LOT 44 PUMP STATION
BUILDING ELEVATIONS

CITY PROJECT NO.
3316510-10
A-201



GRADING LEGEND:

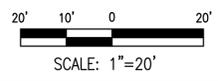
- G GRADE ELEVATION
- P PAVEMENT ELEVATION

KEY NOTES:

- 1 PCC CONCRETE CURB CEDAR RAPIDS STANDARD DETAIL NO. 2700-010 TYPE 1, 6 INCH INTEGRAL CURB. TAPER FROM 6" TO 0" AT SIDEWALK.
- 2 7" PCC REINFORCED CONCRETE PAVEMENT OVER 4" AGGREGATE BASE. PROVIDE TRANSVERSE TYPE 'C' CONTRACTION JOINTS MINIMUM 10' SPACING MAX. 15' CENTERS AND LONGITUDINAL TYPE L-1 CONTRACTION JOINTS. SEE CEDAR RAPIDS STANDARD DETAIL NO. 2700-021 AND DETAIL NO. 2700-022. SEE "CEDAR RAPIDS METROPOLITAN AREA" - CRMA MAY 2014 STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, SECTION 02700 - PORTLAND CEMENT CONCRETE (PCC) PAVEMENT. CRUSHED STONE AGGREGATE BASE: CRMA STANDARD SPECIFICATIONS MAY 2014, SECTION 02100.2.03 - GRANULAR SUBBASE. SUBGRADE PREPARATION: CRMA STANDARD SPECIFICATIONS MAY 2014, SECTION 02100.3.02 - SUBGRADE PREPARATION. GRANULAR SUBBASE PREPARATION: CRMA STANDARD SPECIFICATIONS MAY 2014, SECTION 02100.3.06 - GRANULAR SUBBASE PREPARATION.
- 3 8" DIA BOLLARD. SEE DETAIL 3/C-501.
- 4 POWER DISTRIBUTION CENTER PAD. SEE STRUCTURAL.
- 5 ADJUST MANHOLE RIM TO GRADE.
- 6 PMT-1, SEE ELECTRICAL.
- 7 CT CABINET, SEE ELECTRICAL.
- 8 GRASSED WALKWAY TO POWER DISTRIBUTION CENTER.

| ELEMENT | DESCRIPTION | PI STA | NORTHING | EASTING | CURVE DATA |
|---------|----------------|-------------------------------|--|--|--------------------------------|
| L-1 | | 0+00 0+34.22 | N 3456712.11 N 3456704.33 | E 5422858.17 E 5422891.49 | NA |
| C-1 | PC PI PT | 0+34.22 0+92.38 1+33.17 | N 3456704.33 N 3456691.11 N 3456632.96 | E 5422891.49 E 5422948.13 E 5422949.43 | T=58.17 R=75.00' L=98.95 |
| L-2 | | 1+33.17 2+15.21 | N 3456632.96 N 3456550.94 | E 5422949.43 E 5422951.25 | NA |

| POINT NO. | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|-----------|------------|------------|-----------|----------------------------------|
| 1 | 3456550.57 | 5422934.92 | 724.00 | CORNER PUMP STATION |
| 2 | 3456551.20 | 5422963.25 | 724.00 | CORNER PUMP STATION |
| 3 | 3456511.88 | 5422964.13 | 724.00 | CORNER PUMP STATION |
| 4 | 3456550.00 | 5422909.26 | 719.91 | EDGE OF PAVEMENT |
| 5 | 3456629.98 | 5422907.48 | 718.25 | EDGE OF PAVEMENT |
| 6 | 3456630.12 | 5422913.55 | 717.97 | END OF RETURN |
| 7 | 3456658.87 | 5422931.09 | 716.13 | END OF RETURN |
| 8 | 3456631.18 | 5422961.47 | 717.93 | EDGE OF PAVEMENT |
| 9 | 3456714.34 | 5422900.38 | 713.55 | EDGE OF PAVEMENT |
| 10 | 3456690.95 | 5422894.70 | 713.56 | EDGE OF PAVEMENT |
| 11 | 3456710.96 | 5422909.40 | 713.94 | SIDEWALK |
| 12 | 3456708.63 | 5422914.30 | 714.02 | SIDEWALK |
| 13 | 3456687.47 | 5422902.96 | 713.92 | SIDEWALK |
| 14 | 3456684.98 | 5422907.41 | 714.00 | SIDEWALK |
| 15 | 3456432.86 | 5422960.52 | 733.50 | CORNER POWER DISTRIBUTION CENTER |
| 16 | 3456424.70 | 5422978.78 | 733.50 | CORNER POWER DISTRIBUTION CENTER |
| 17 | 3456448.81 | 5422910.74 | 0+00 | RADIUS POINT |
| 18 | 3456451.14 | 5422958.84 | - | RADIUS POINT |
| 19 | 3456440.94 | 5422981.66 | - | RADIUS POINT |
| 20 | 3456406.67 | 5423010.82 | 0+00 | RADIUS POINT |



| DATE | DESCRIPTION | APPR. |
|---------|-------------------------|-------|
| 9-27-16 | ISSUED FOR BID DRAWINGS | MB |

| | | |
|--------------------------------|--------------------------|------------------------------|
| DESIGNED BY: RJC / JAF | DATE: 9/27/16 | SOLICITATION NO.: 3316509-04 |
| DRAWN BY: JON RICK | CONTRACT NO.: 3316509-04 | PROJECT CODE: FF44 |
| SUBMITTED BY: MIKE BUTTERFIELD | FILE NAME: ER31C-102.dwg | |
| PLT SCALE: 1"=20' | DATE: 9/27/16 | |
| SIZE: A | | |



CEDAR RIVER BASIN
CEDAR RIVER
CEDAR RAPIDS, IOWA

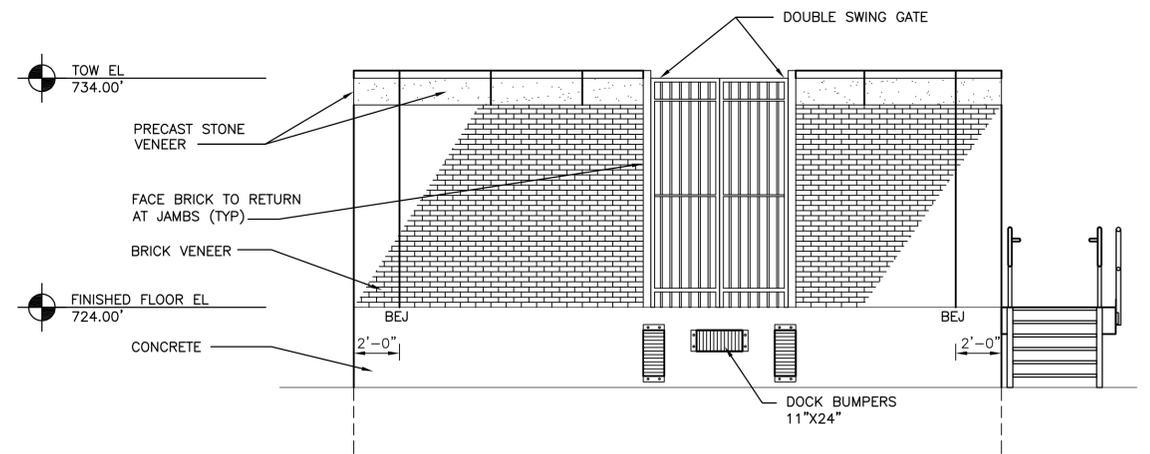
SINCLAIR LEVEE
PUMP STATION & DETENTION BASIN
PUMP STATION SITE LAYOUT
AND GRADING PLAN

CITY PROJECT NO.
3316509-04
C-102

\$DATE\$ \$FILE\$ \$TIME\$ \$USERS\$
 C:\working\jama\1906509\ER31C-102.dwg, Sheet, 9/27/2016 9:29:58 AM, jgaines, Test

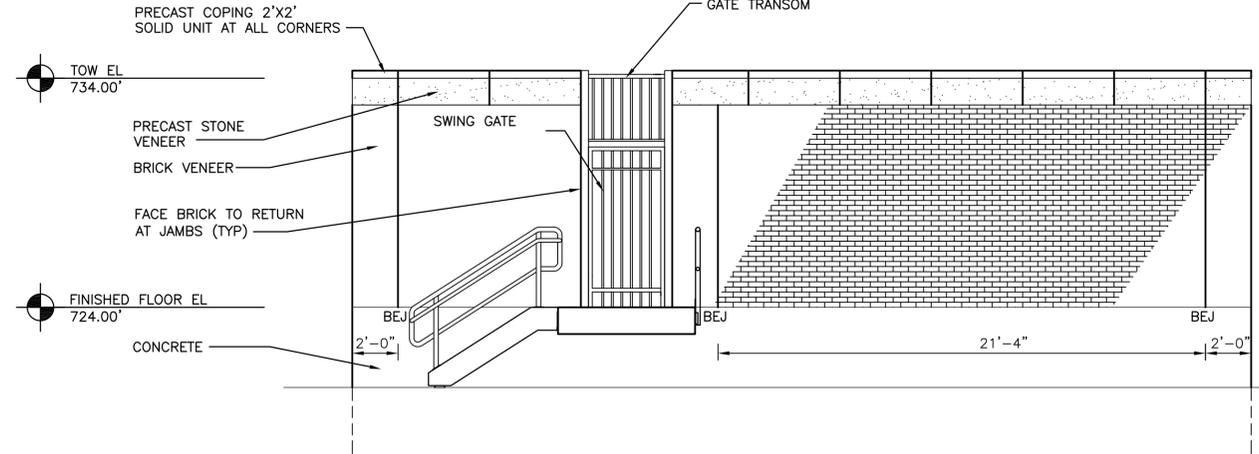
C:\working\mtd1050909\ER311A-201.dwg, Sheet, 9/27/16 9:01:24 AM, Civil/Eng, Text

\$DATE\$ \$FILE\$ \$TIME\$ \$USERS\$

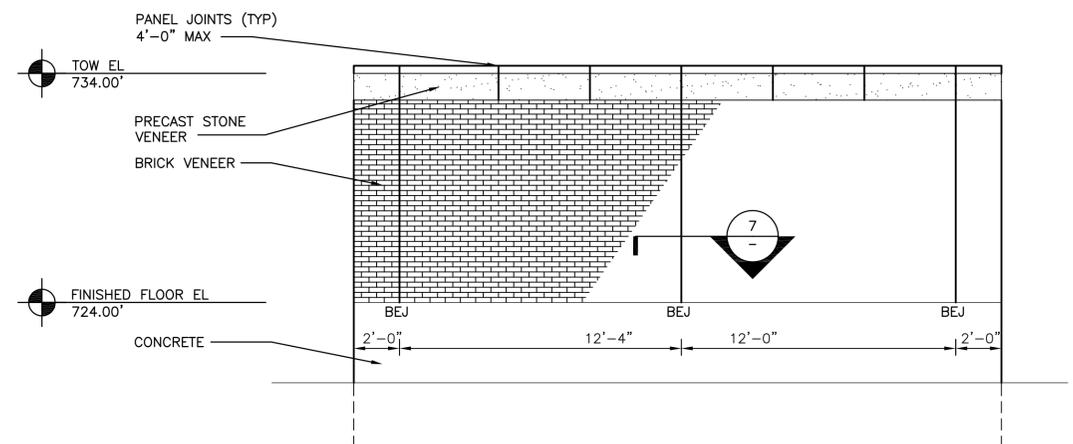


1 NORTH ELEVATION
1/4" = 1'-0"

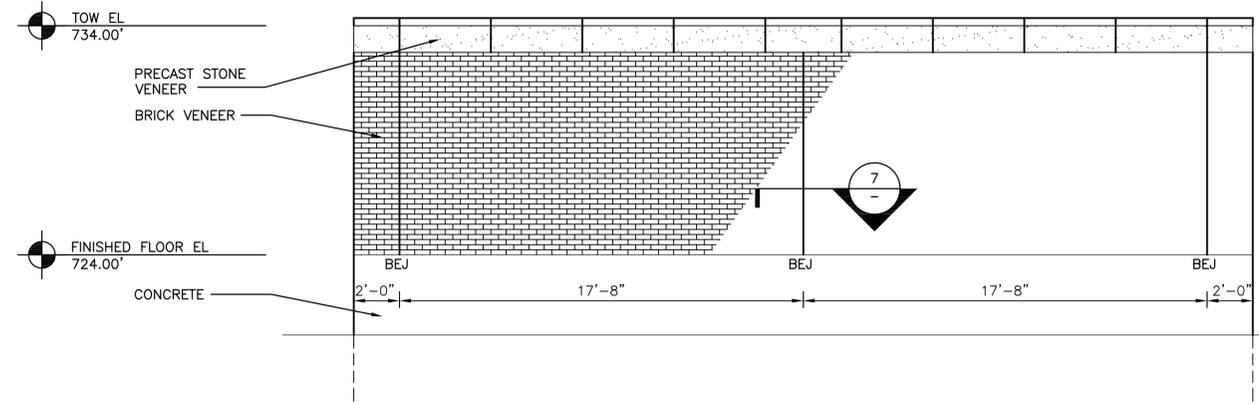
DOCK BUMPERS:
PROVIDE REINFORCED RUBBER SLATS WITH STEEL MOUNTING ANGLES SIMILAR TO RITE-HITE MODEL RHV424-11. ANCHOR TO CONCRETE FOUNDATION WITH EXPANSION ANCHORS.



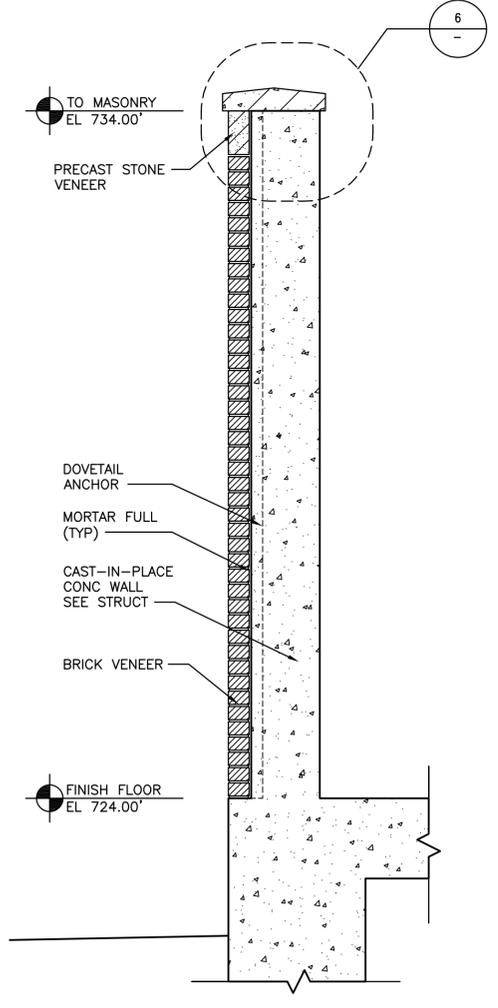
2 WEST ELEVATION
1/4" = 1'-0"



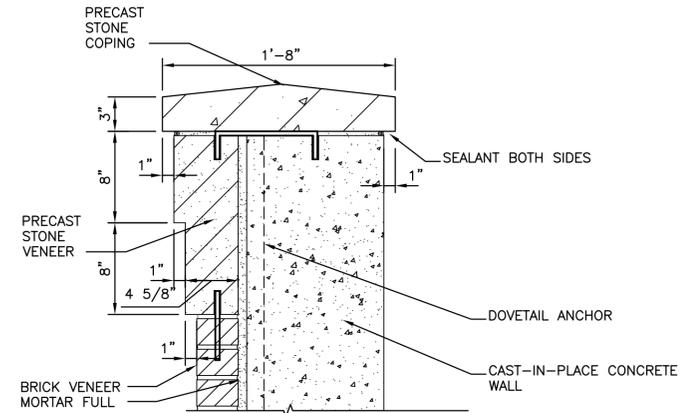
3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

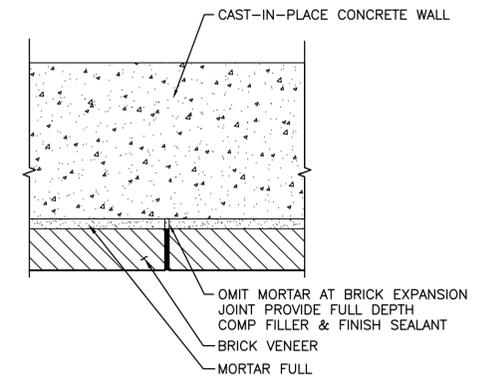


5 WALL SECTION
SCALE: 3/4" = 1'-0"



6 TOP OF WALL DETAIL
1 1/2" = 1'-0"

NOTES:
1. CONCRETE WALL REINFORCING NOT SHOWN SEE STRUCTURAL.



7 BRICK MASONRY CONTROL JOINT
1 1/2" = 1'-0"

NOTES:
1. CONCRETE WALL REINFORCING NOT SHOWN SEE STRUCTURAL.



| DATE | DESCRIPTION | MARK | APPR. |
|---|--|-----------------------|-------|
| 9-27-16 <td>ISSUED FOR BID DRAWINGS <td>MB <td></td> </td></td> | ISSUED FOR BID DRAWINGS <td>MB <td></td> </td> | MB <td></td> | |
| | | APPR. <td></td> | |
| | | DATE <td></td> | |
| | | MARK <td></td> | |
| | | DESCRIPTION <td></td> | |

| | | | |
|---------------|------------------|-------------------|-------|
| DESIGNED BY: | CHK BY: | SOLICITATION NO.: | DATE: |
| DWN BY: | MM | CONTRACT NO.: | |
| SUBMITTED BY: | MIKE BUTTERFIELD | 3316509-04 | |
| PLOT SCALE: | 9/8/2016 | PROJECT CODE: | FF44 |
| FILE NAME: | ER311A-201.dwg | | |
| ANSI D | | | |



CEDAR RIVER BASIN
CEDAR RIVER
CEDAR RAPIDS, IOWA

SINGLAIR LEVEE
PUMP STATION & DETENTION BASIN
ELEVATIONS, SECTION, AND DETAILS

CITY PROJECT NO.
3316509-04
A-201

Cedar River Flood Control System

Lot 44 Pump Station
Sinclair Pump Station



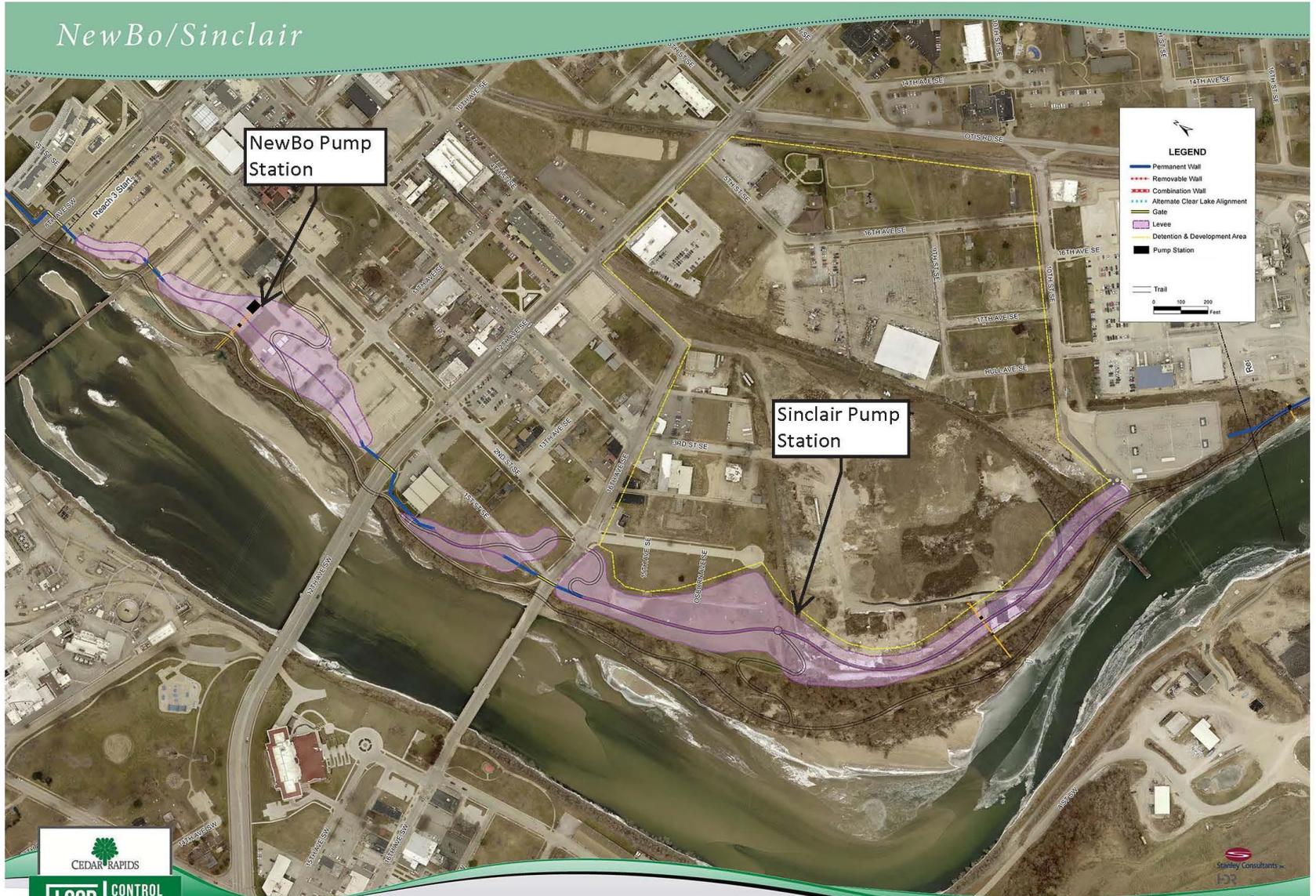
CEDAR RAPIDS

FLOOD | CONTROL
SYSTEM

STRENGTHENING OUR COMMUNITY

Location Map

NewBo/Sinclair





CEDAR RAPIDS

FLOOD | CONTROL SYSTEM

STRENGTHENING OUR COMMUNITY

Lot 44 Pump Station



CEDAR RAPIDS

FLOOD | CONTROL
SYSTEM

STRENGTHENING OUR COMMUNITY

Lot 44 Pump Station



CEDAR RAPIDS

FLOOD | CONTROL
SYSTEM

STRENGTHENING OUR COMMUNITY

Lot 44 Pump Station



CEDAR RAPIDS

FLOOD | CONTROL SYSTEM

STRENGTHENING OUR COMMUNITY

Sinclair Pump Station



CEDAR RAPIDS

FLOOD | CONTROL
SYSTEM

STRENGTHENING OUR COMMUNITY

Sinclair Pump Station



CEDAR RAPIDS

FLOOD | CONTROL
SYSTEM

STRENGTHENING OUR COMMUNITY

Sinclair Pump Station



CEDAR RAPIDS

FLOOD | CONTROL
SYSTEM

STRENGTHENING OUR COMMUNITY

Control Building Example



CEDAR RAPIDS

FLOOD | CONTROL SYSTEM

STRENGTHENING OUR COMMUNITY