



Community Development Department
City Hall
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5041
FAX: (319) 286-5130

DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE MEETING

June 8, 2015

4:00 P.M.

Blairs Ferry Conference Room

City Hall

101 First Street SE

AGENDA

Action/Discussion Items

1. **70 16th Avenue SW**
Czech Village Association – Pam Lewis (Applicant)
 - Kiosk Review (sign)

2. **102 16th Avenue SW**
Village West Apartments – William Knapp (Applicant)
 - Preliminary Site Development Plan & Façade Review



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DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE STAFF REPORT

Date: June 8, 2015
Applicant: Pam Lewis
Owner: Czech Village Association
Location: 70 16th Avenue SW
Request: Kiosk Review (sign)
Date Application Received: May 28, 2015

EXECUTIVE SUMMARY

Site description (general location, zoning, history, current condition...)

The Czech Village Association has applied for an encroachment permit for a kiosk with a proposed location at 70 16th Avenue SW, between Ernie's Tavern and Sykora Bakery. The kiosk was sponsored by Western Fraternal Life and was designed and constructed by local artist Tom Newport.

The kiosk is 2ft x 2ft and 7ft tall. The kiosk features a Czech lion on one side and a Slovak cross on another. The other two sides of the kiosk will have glass cases with detailed maps, directions, and space for announcements of local events. The bottom portion of the kiosk features leaves from the Linden tree which is the national tree of the Czech and Slovak Republics. The kiosk will be anchored to a cement base.

Request description (reason for request, why it should be granted)

The applicant is seeking comments from the Design Review Technical Advisory Committee.

STAFF RECOMMENDATION

Using the attached Overlay District Requirements, the Design Review Technical Advisory Committee shall provide recommendations on the project.

DRTAC RECOMMENDATION

- No recommendations were made for the kiosk applicaiton

Standard	Meets Standard			Comments
	Y	N	N/A	
<i>Signage</i>				
1) New signage shall respect the size, scale and design of the building to which it is attached, and the buildings of the surrounding District. New signage shall not obscure significant architectural details of a historic structure.	X			Project meets this standard.
2) Acceptable forms of signage include signs integrated into or affixed flat against a building façade, wall signs, projecting signs and monument signs. Other types of signage may be considered if compatible with the unique character of the District.	X			Project meets this standard.

CITY OF CEDAR RAPIDS
PUBLIC ENCROACHMENT APPLICATION

COMPLETE AND SUBMIT ALL THE REQUIRED INFORMATION LISTED BELOW FOR EACH REQUEST TO BE PROCESSED.

APPLICANT NAME (AS IT APPEARS ON DEED): Czech Village Association

ADDRESS OF PROPERTY OR LEGAL DESCRIPTION: 70-16th Ave SW

CONTACT PERSON: Pam Lewis

MAILING ADDRESS: 82-16th Ave SW
Cedar Rapids Ia 52404
CITY STATE ZIP CODE

TELEPHONE NUMBER: (319) 210-5794

I hereby acknowledge that these fees are non-refundable and does not guarantee approval of request by City Council.

DATE REQUESTED: May 18, 2015 SIGNATURE: Camela G Lewis

TYPE OF REQUEST: (Check Applicable Items Below)

- Encroachment onto Public Right-of-Way (the following is required for all requests):
- Written Statement of Purpose for Request
 - Site Drawing
 - Application fee \$250.00 *
- Encroachment onto Public Easement (the following is required for all requests):
- Written Statement of Purpose for Request
 - Site Drawing
 - Application fee \$250.00 *

* The Application Fee does not include closing cost, publication or recording fees. Fees are set by City Council Resolution No. 0352-04-08 effective July 1, 2008.

SUBMIT REQUEST TO:

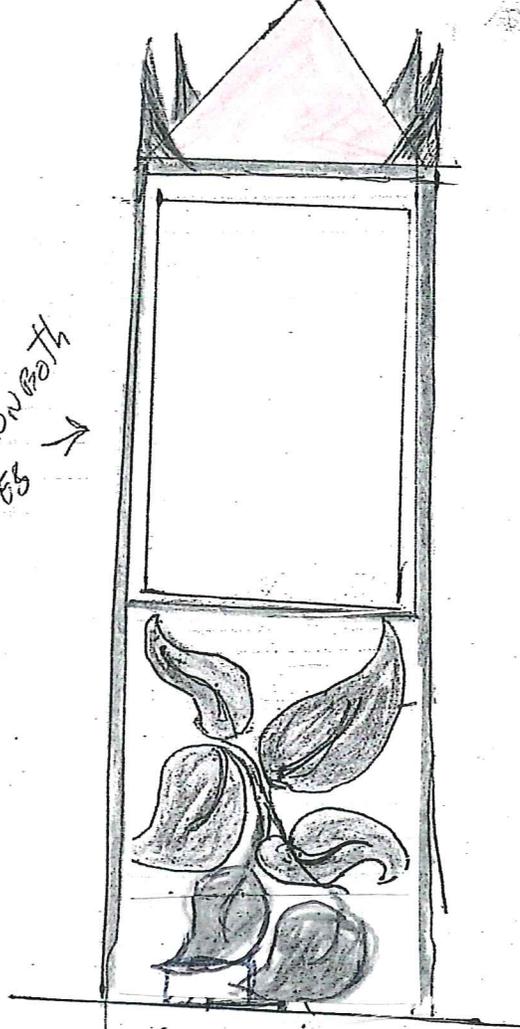
Public Works Department
Engineering Division
1201 6th Street SW
Cedar Rapids, Iowa 52404
Phone: (319) 286-5802

CHECKS PAYABLE TO:

City Treasurer

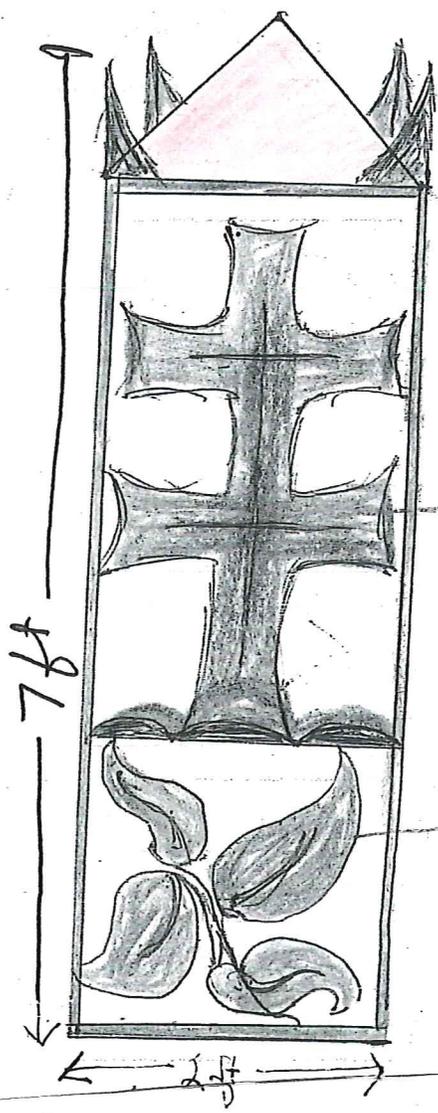
4108013\CORRES\ENCROACHMENT APPLICATION last update 3/31/10

Mad on both
sides →



Plaque?

← 2 ft →



roof like clock
tower
(red)

Slovak Cross

Linden leaves
(state tree)

Czech
lion

Black
high gloss
metal



Public Encroachment Application

Supplemental Information

Prior to the flood of 2008, the Czech Village Area had an information kiosk that was located on the sidewalk in the area directly across from the proposed area.

In a continual effort to recover from the flood and to restore the area, it was decided by the Czech Village Association to try to replace the kiosk. The Western Fraternal Life agreed to sponsor the project. The nationally known, local public works artist, Tom Newport agreed to design, construct and install the project.

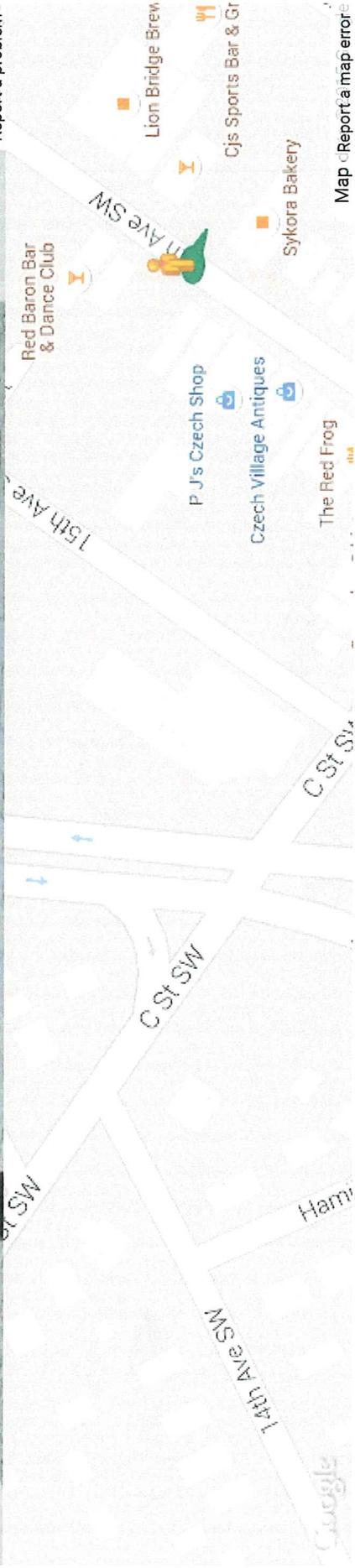
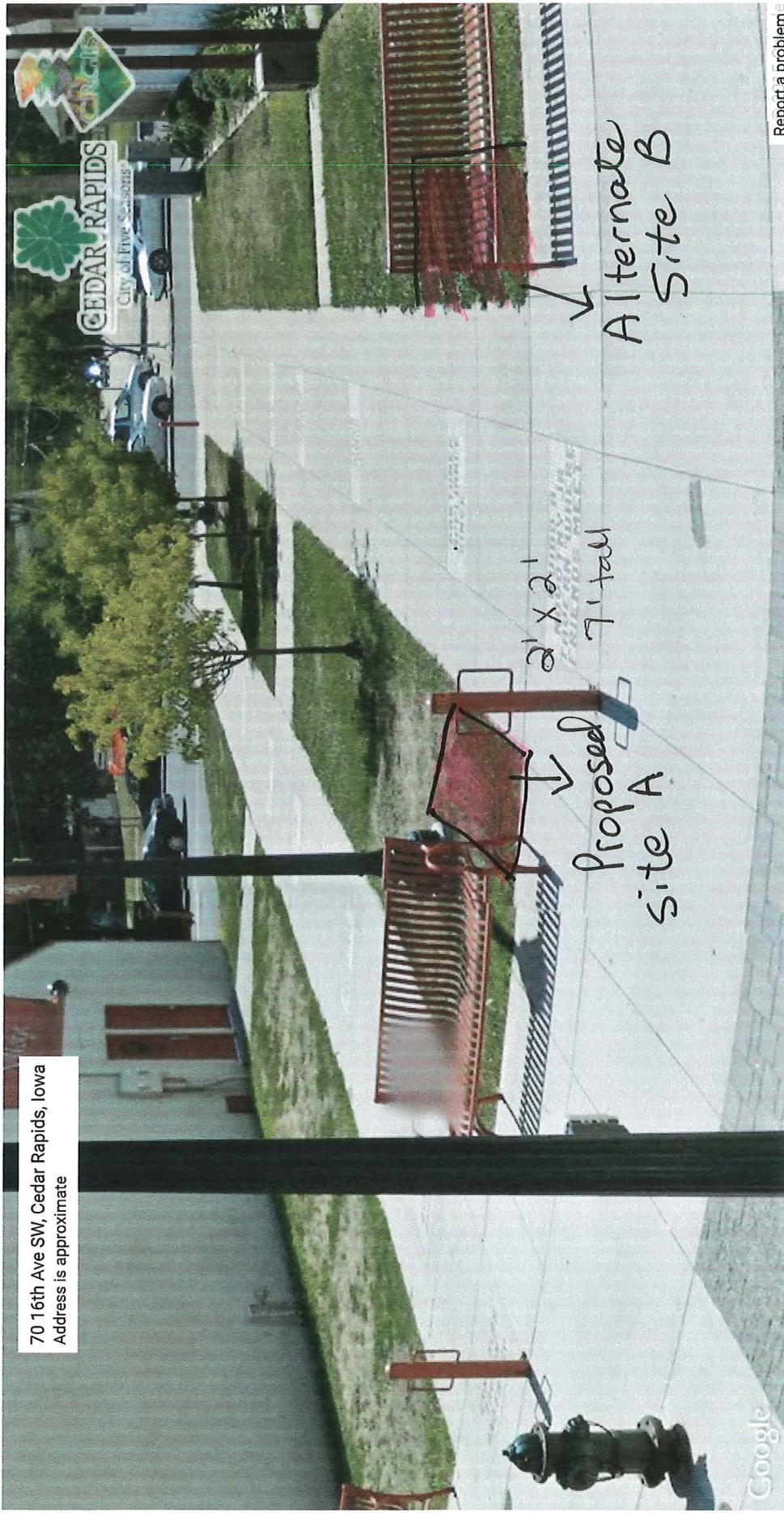
A design was proposed that would be in keeping with the Czech/Slovak Area (see attached artist drawing). On one side would be the Czech Lion and on the other, the Slovak Cross. On the other two sides would be glass cases. Main Street has agreed to provide a detailed map of the area with directions to locations in Cedar Rapids for one side. The other side would be used for announcements of local events. At the bottom would be leaves from the Linden tree. The linden tree is the national tree of the Czech and Slovak Republics and the Avenue (pre-flood) was lined with those trees. It is a symbol of strength and perseverance. The top of the kiosk is designed to resemble the top of the clock tower that is at the end of the Avenue. The kiosk would be 2 feet by 2 feet by 7 feet high. The structure would be anchored to a cement base. This would be a permanent, solid, and flood resistant structure made of high gloss metal. Due to the method of installation, it would be possible to move the structure should the needs of the Avenue change.

The suggested location of the kiosk would be next to the sidewalk and opposite from the former location. This would allow accessibility and visibility for visitors to the area. This green space is owned by the city and maintained by Czech Village Association. See attached photo.

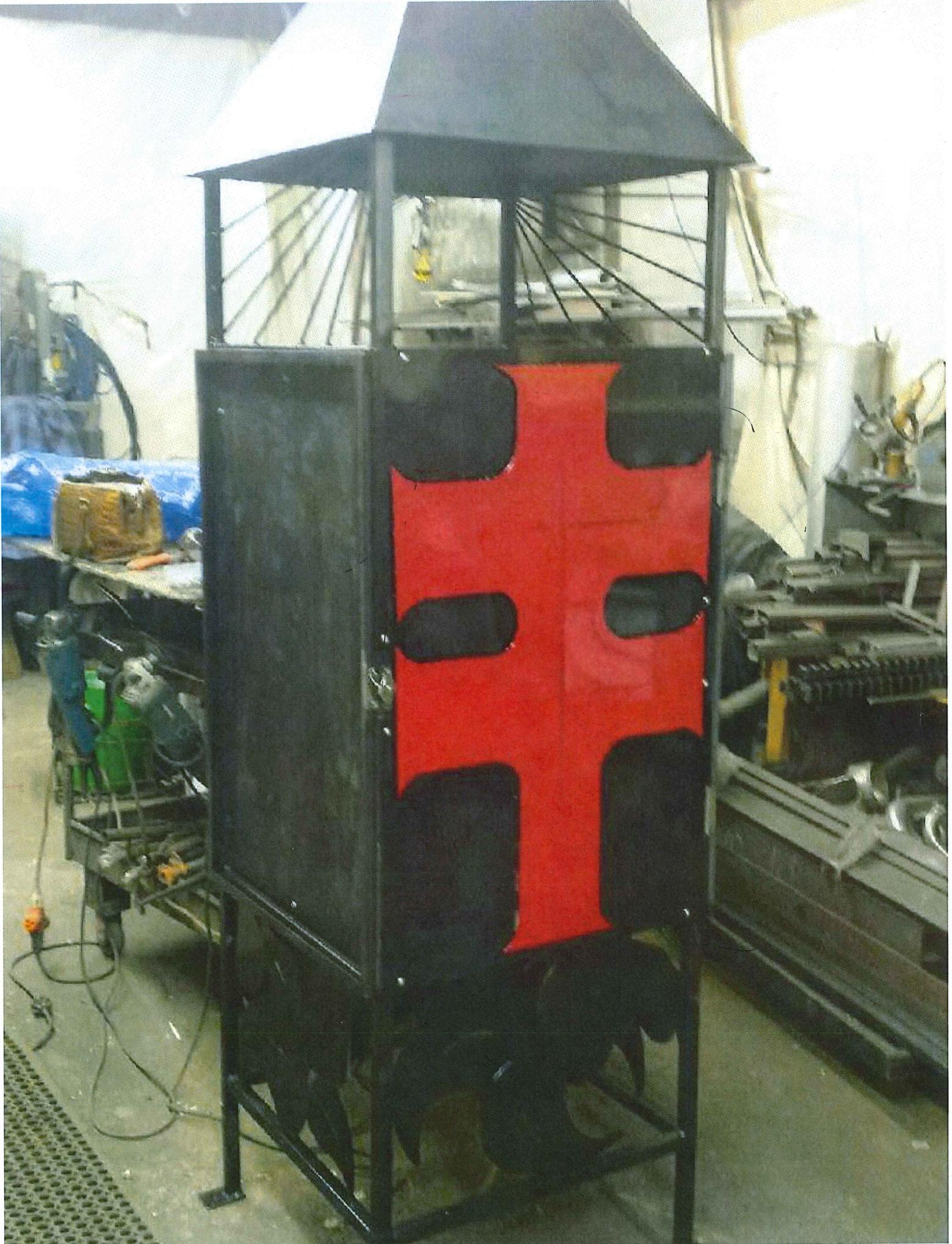
The design was presented to the executive board and general membership of the Czech Village Association and to Western Fraternal Life. It has been approved by all bodies involved.

The structure is almost completed and waiting for installation. It is sincerely hoped that you will approve this request and allow us to finally replace this important part of the Avenue. If you have any questions, please call me.

70 16th Ave SW, Cedar Rapids, Iowa
Address is approximate









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Cedar Rapids, IA 52401
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DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE STAFF REPORT

Date: June 8, 2015
Applicant: William Knapp
Owner: Robert & Jitka Schaffer
Location: 102 16th Avenue SW
Request: Conditional Use & Façade Review
Date Application Received: April 30, 2015

EXECUTIVE SUMMARY

Site description (general location, zoning, history, current condition...)

The subject property is located at 100 16th Avenue SW and is zoned C-3, Regional Commercial Zone District. The applicant is proposing to construct a 2 story mixed-use building with 1 apartment and retail space on the ground floor and 6 additional apartments on the 2nd floor. The main elevation features large 1st floor windows, a parapet roofline and a mix of brick and standard building treatments.

Request description (reason for request, why it should be granted)

The applicant is seeking comments from the Design Review Technical Advisory Committee. The preliminary site development plan will go before City Planning Commission on June 11th. Comments given by the Committee will be shared with City Planning Commission.

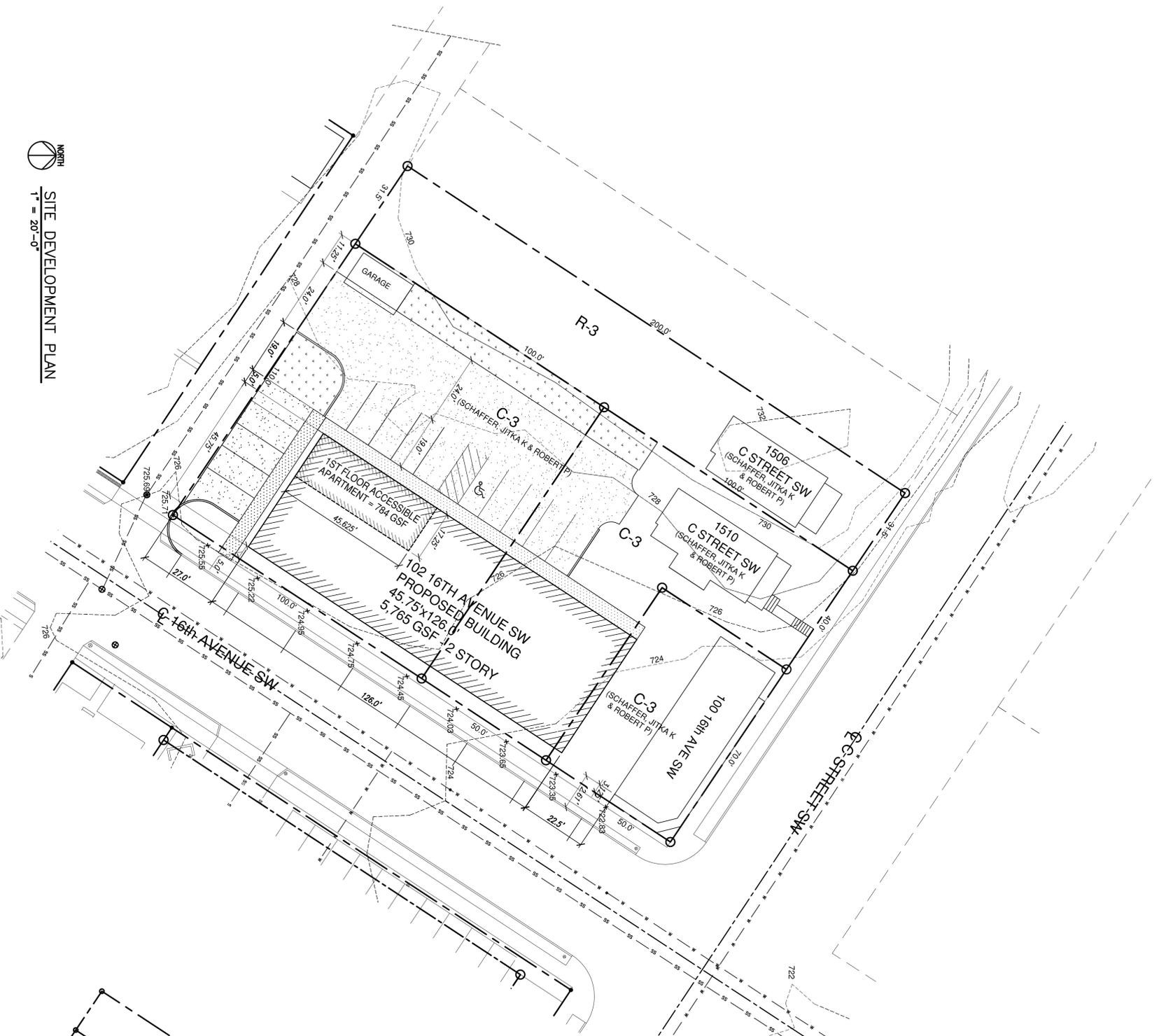
STAFF RECOMMENDATION

Using the attached Overlay District Requirements, the Design Review Technical Advisory Committee shall provide recommendations on the project.

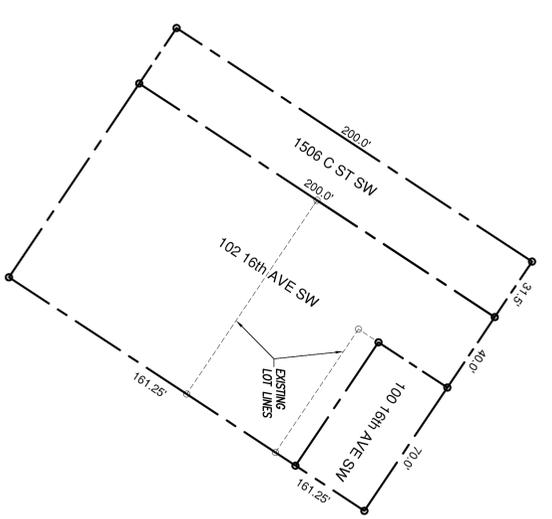
DRTAC RECOMMENDATIONS

- Center building is out of context with the historic district
- Consider using a material other than brick underneath windows
- Consider having a consistent datum line for the windows
- Consider installing bollards near the garage
- Use the same windows throughout the building
- Work with City staff on the use of other materials on the backside of the building to add visual interest

Standard	Meets Standard			Comments
	Y	N	N/A	
<i>Size, Form and Volume</i>				
1) Facade heights for new buildings and additions must fall within the height range of the surrounding block.	X			Project meets this standard.
2) Floor-to-floor heights for new buildings and additions shall appear similar to those within the range of the surrounding block.	X			Project meets this standard.
3) Proposed facades wider than the established historic range of the block upon which the proposed development is to be located may be permitted, but design features shall be included to mimic traditional building widths of 50 feet or less. Changes in facade material, building height, window style or architectural detail are examples of techniques that may be permitted to break up a facade.	X			Project meets this standard.
<i>Building Orientation and Parking</i>				
1) Commercial buildings shall be constructed to the edge of the sidewalk with zero setbacks.			X	Not applicable to request.
2) Multi-family buildings shall be constructed with setbacks that lie within the established setback range of the block.	X			Project meets this standard.
3) Principal building entrances shall be a prominent feature of the building's facade and should face the primary street serving the development.	X			Project meets this standard.
4) Parking should be located behind buildings when feasible. Parking lots adjacent to sidewalks are discouraged.	X			Project meets this standard.
<i>Architectural Details</i>				
1) The facade should have a vertical orientation and maintain the traditional proportions of height and width found in existing historic buildings in the CB-O District.	X			Project meets this standard.
2) The top edge of the building shall be defined by a cornice line or similar articulation.	X			Project meets this standard.
3) Windows and doors shall be located, spaced and aligned on the building facade in a manner consistent with the established context of the block.	X			Project meets this standard.
4) The sizes of windows and doors shall be consistent with the proportions of historic buildings in the District.	X			Project meets this standard.
5) Highly reflective, opaque or darkly tinted glass shall not be used for windows or doors.	X			Project meets this standard.
6) All new construction shall use compatible and traditional building materials such as brick, limestone and metalwork. A creative mix of materials consistent with the historic character of the area may be considered.	X			Project meets this standard.
7) Materials shall be used in a manner that incorporates architectural details, complementary textures and small scale elements, especially on the first floor of the primary façade.	X			Project meets this standard.
<i>Signage</i>				
1) New signage shall respect the size, scale and design of the building to which it is attached, and the buildings of the surrounding District. New signage shall not obscure significant architectural details of a historic structure.			X	Not applicable to request. The applicant will return for a review when applying for a sign permit.
2) Acceptable forms of signage include signs integrated into or affixed flat against a building façade, wall signs, projecting signs and monument signs. Other types of signage may be considered if compatible with the unique character of the District.			X	Not applicable to request. The applicant will return for a review when applying for a sign permit.



NORTH
SITE DEVELOPMENT PLAN
1" = 20'-0"

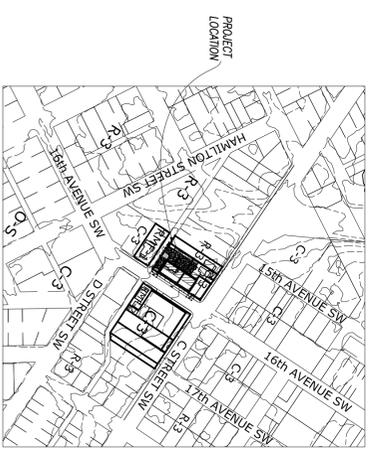


NORTH
PROPOSED RECONFIGURATION OF LOTS
NOT TO SCALE

DIMENSIONAL STANDARDS	
CURRENT ZONING:	C-3
MIN. LOT SIZE:	800 S.F.
MINIMUM LOT WIDTH:	50 FT.
LOT SIZE:	
TOTAL EXISTING BUILDING AREAS:	
TOTAL PROPOSED BUILDING AREAS:	5,765 SQ. FT.
PROPOSED BUILDING USE:	
LOWER LEVEL	(1) RESIDENTIAL APARTMENT: 784 G.S.F.
RETAIL	: 4,981 G.S.F.
UPPER LEVEL	(6) RESIDENTIAL APARTMENTS: 5,765 G.S.F.
TOTAL BUILDING AREAS:	
TOTAL HARD SURFACE:	
TOTAL GREEN SPACE:	
MINIMUM YARD SETBACK FOR CORE AREA:	
FRONT YARD:	0 FT.
INTERIOR SIDE YARD:	0 FT.
REAR YARD:	0 FT.
MAXIMUM HEIGHT:	100 FT.

PARKING SPACES REQUIRED:	
LAND USE: RESIDENTIAL USES	
DWELLING UNITS ON GROUND FLOOR: 2 PER D.U.	
DWELLING UNITS ABOVE GROUND FLOOR: 1.5 PER D.U.	
PARKING SPACES REQUIRED: (6) (1.5) + (1) (2) = 11	
LAND USE: COMMERCIAL USES	
RETAIL: 1 PER 300 SF GFA	
PARKING SPACES REQUIRED = (4903/300) = 16	
PARKING SPACES REQUIRED: 27	
ALLOWABLE REDUCTIONS IN PARKING SPACES	
ON STREET PARKING ADJACENT TO BUILDING:	= 7 SPACES
10% REDUCTION FOR 32.05.029 B.6.g: (0.10) * 23 = 2 SPACES	
REDUCTION FOR 32.05.029 B.6.i:	= 1 SPACE
5% REDUCTION FOR 32.05.029 B.6.j:	= 1 SPACE
5% REDUCTION FOR 32.05.029 B.6.l:	= 1 SPACE
TOTAL REDUCTION OF OFF STREET PARKING:	12 SPACES
TOTAL PARKING SPACES REQUIRED: 27 - 12 = 15 SPACES	
TOTAL PARKING SPACES PROVIDED:	15 SPACES

BENCHMARK = 1st FLOOR ELEVATION
OF 101 16th AVENUE SW = 725.10



NORTH
LOCATION MAP
1" = 300'-0"



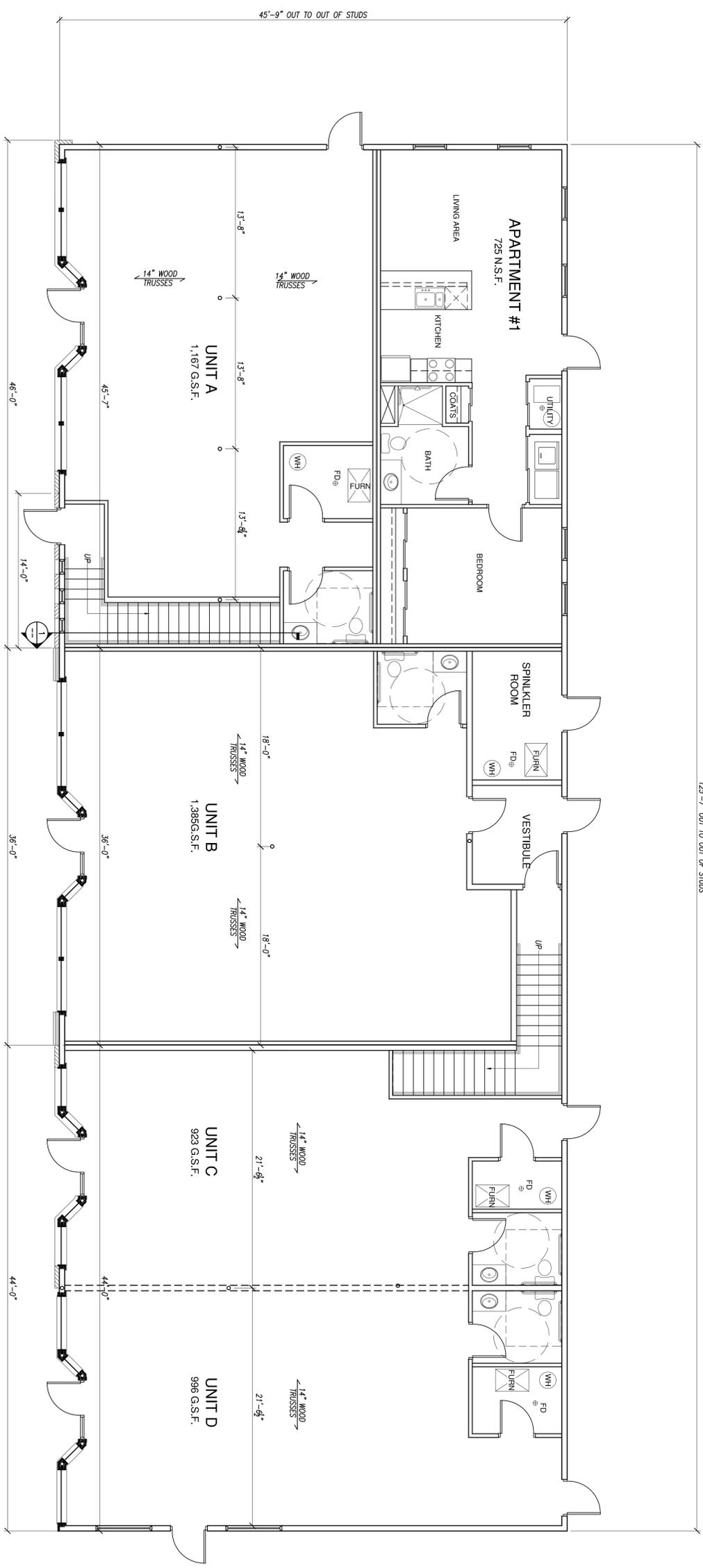
REV.	REVISION:	DATE:	INIT.	CHK.

PROJECT:
VILLAGE WEST APARTMENTS
102 16TH AVENUE SW
CEDAR RAPIDS, IOWA

DRAWING TITLE:
SITE PLAN
CONDITIONAL USE APPLICATION

SCALE: AS NOTED
CHECKED BY:
DRAWN BY:
PROJECT NO.: 14654
ISSUE DATE: 04/21/15

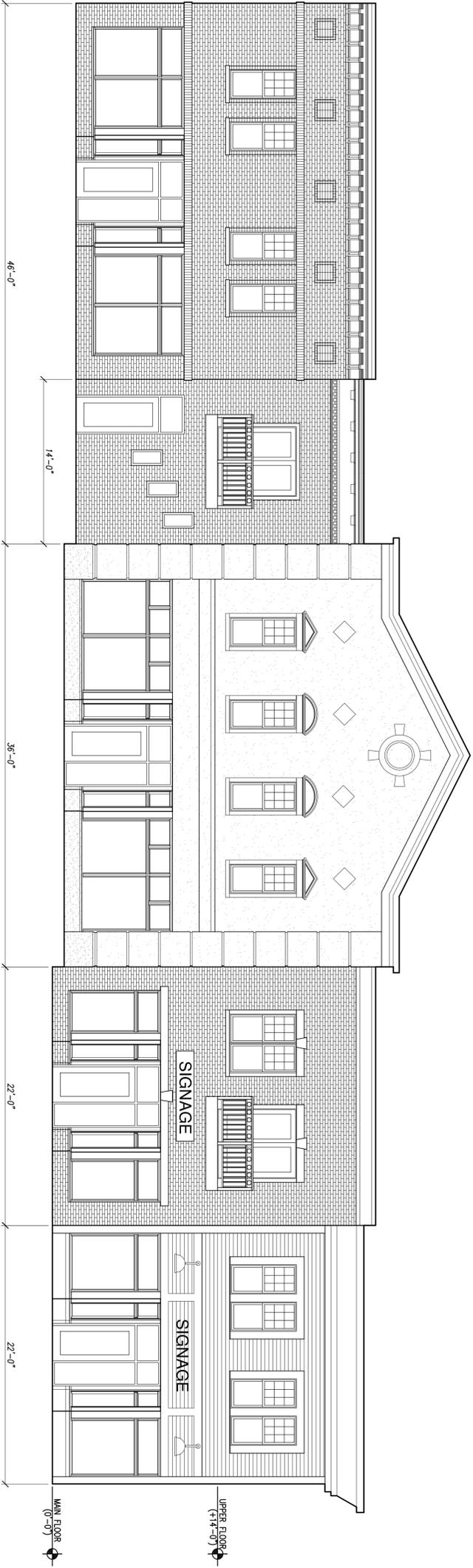
DRAWING NUMBER
C1



MAIN FLOOR PLAN
3/16" = 1'-0"

PRELIMINARY
FOR REVIEW ONLY
4-20-15

DRAWING NUMBER <h1 style="margin: 0;">A1</h1>	DRAWING TITLE: <h2 style="margin: 0;">MAIN LEVEL FLOOR PLAN</h2>	PROJECT: <h2 style="margin: 0;">SCHAFER BUILDING CEDAR RAPIDS, IOWA</h2>	<table border="1"> <thead> <tr> <th>REV:</th> <th>REVISION:</th> <th>DATE:</th> <th>INT:</th> <th>CHK:</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV:	REVISION:	DATE:	INT:	CHK:																																														 <p style="font-size: small;"> Knapp & Warden LLC Architectural & Engineering 1544 2nd Ave. SE, Cedar Rapids, IA 52403-2302 Phone: (319) 366-6672 Fax: (319) 366-6698 Email: bknappp@knappwarden.com mwarden@knappwarden.com </p>					
	REV:	REVISION:	DATE:	INT:	CHK:																																																						
SCALE: AS NOTED CHECKED BY: M/W DRAWN BY: A/S PROJECT NO.: 14954 ISSUE DATE: 03/07/10	DRAWING TITLE: <h2 style="margin: 0;">MAIN LEVEL FLOOR PLAN</h2>	PROJECT: <h2 style="margin: 0;">SCHAFER BUILDING CEDAR RAPIDS, IOWA</h2>	<table border="1"> <thead> <tr> <th>REV:</th> <th>REVISION:</th> <th>DATE:</th> <th>INT:</th> <th>CHK:</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV:	REVISION:	DATE:	INT:	CHK:																																																			 <p style="font-size: small;"> Knapp & Warden LLC Architectural & Engineering 1544 2nd Ave. SE, Cedar Rapids, IA 52403-2302 Phone: (319) 366-6672 Fax: (319) 366-6698 Email: bknappp@knappwarden.com mwarden@knappwarden.com </p>
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FRONT ELEVATION
3/16" = 1'-0"

PRELIMINARY
FOR REVIEW ONLY
4-20-15

DRAWING NUMBER	DRAWING TITLE: EXTERIOR ELEVATIONS	PROJECT: SCHAFFER BUILDING CEDAR RAPIDS, IOWA	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV:</th> <th>REVISION:</th> <th>DATE:</th> <th>INIT:</th> <th>CHK:</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV:	REVISION:	DATE:	INIT:	CHK:																																																			 <p>Knapp & Warden LLC Architectural & Engineering 1544 2nd Ave. SE, Cedar Rapids, IA 52403-2302 Phone: (319) 366-6672 Fax: (319) 366-6698 Email: bknappp@knappwarden.com mwarden@knappwarden.com</p>
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