



Community Development Department
City Hall
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5041
FAX: (319) 286-5130

DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE MEETING

January 12, 2015

4:00 P.M.

Blairs Ferry Conference Room

City Hall

101 First Street SE

AGENDA

Action/Discussion Items

1. **1023 and 1027 6th Street SE**
Sky's Edge Development, LLC (Applicant)
 - Site Plan & Elevations



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Cedar Rapids, IA 52401
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DESIGN REVIEW TECHNICAL ADVISORY COMMITTEE STAFF REPORT

Date: January 12, 2015
Applicant: Sky's Edge Development, LLC
Owner: Allen Lerch
Location: 1023 and 1027 6th Street SE
Request: Site Plan & Elevation Review
Date Application Received: December 23, 2014

EXECUTIVE SUMMARY

Site description (general location, zoning, history, current condition...)

The subject property is located at 1023 and 1027 6th Street SE. The applicant is proposing to construct four two story condominium units to be sold to new homeowners as part of the ROOTs Program. There will be one two-story unit on each end of the structure and an upper and lower unit in the middle. The structure will face 6th Street SE with an access drive and garages for parking located to the rear of the property.

The property is zoned PUD-2 Planned Unit Development Two Zone District.

Request description (reason for request, why it should be granted)

The applicant is seeking comments from the Design Review Technical Advisory Committee and approval by City Staff.

STAFF RECOMMENDATION

Staff recommends approval of the request.

Using the attached Overlay District Requirements, the Design Review Technical Advisory Committee shall provide recommendations on the project.

DRTAC COMMENTS

1. There are too many garages on the site. Looks like a rental storage unit facility. Should provide two car spaces per residential unit (8 total) in two buildings of 2 side by side garages with each garage housing 2 cars. (2 buildings/4 cars each) One building justified to the north side yard property line, the other justified to the south property line.
 - Developer has received permission from the City for the 10 parking spaces.
 - These parking spaces are only to be used by the homeowners.
2. # 1 would provide better access for residents to the proposed housing units. If as shown, residents will need to go all of the way around the big garage to get access to the other

- small garage. Would loosen up the site.
3. Will the unit owners be able to fence their back yard? If so, some garage access will only be via public sidewalk from the front door.
 - A variance would be required in order to install fencing. The Developer does not plan to install a fence.
 4. Since the residential bldg. sits on a corner, the south and back side of this building are visible from public R.O.W. Request for trim to be installed around all windows and doors similar to the front of the building. Minimal added cost.
 - Trim will be provided around all windows and doors.
 6. No vinyl siding or trim.
 - The Developer will be using vinyl as one of the building materials. The use of vinyl and the design of the condominiums fit in with homes in the Oak Hill neighborhood.
 7. In general the design appears to fit with the area but could be built anywhere in CR which means DRTAC is unsure about how it relates to this particular District.
 - The design of the building is consistent with other homes in the Oak Hill neighborhood.
 8. DRTAC thinks more research should be done however on some of the detailing of the historic homes that could be incorporated into the architectural design without a lot of added cost. The building will be part of the District for many years and there is one chance to get it right.
 - The original plans for the building were modified by changing the roofline and adding gables to mirror the design of homes in the Oak Hill neighborhood. The renderings that were included in the agenda packet show these changes.
 9. The storm water basins are a good, sustainable system. Please take special note of the intake and outlet structures that are above the grass elevation to make sure they do not appear 'commercial' and that the back yards can be used by the tenants.
 10. The trees and large shrubs are good choices. Please make sure that the two remaining trees are protected with a system that is more structural (ie chain link or other) than the system described.
 - The Developer will try to preserve the existing trees on the site.
 11. Is the stone siding accurately represented? Is it a real limestone/brick or a manufactured stone in a random pattern?
 - The Developer will use manufactured stone.
 12. Are the colors accurately represented?
 - The Developer brought in a large rendering that shows the use of neutral building colors. The colors depicted in the rendering in the agenda packet are brighter than those that will be used.
 13. DRTAC understands that the ends of the building may not need windows but some attention to detail on the street facing side should be explored. Including the window trim on the front around to the sides would help.
 - All of the windows and doors will have a trim. The Developer will consider installing an additional window on each side of the building.
 14. The Developer was reminded that he will need to come before DRTAC if changes are made to the building design.

Standard	Meets Standard			Comments
	Y	N	N/A	
<i>Size, Form and Volume</i>				
1) Facade heights for new buildings and additions must fall within the height range of the surrounding block.	X			Proposed development meets this requirement.
2) Floor-to-floor heights for new buildings and additions shall appear similar to those within the range of the surrounding block.	X			Proposed development meets this requirement.
3) Proposed facades wider than the established historic range of the block upon which the proposed development is to be located may be permitted, but design features shall be included to mimic traditional building widths of 50 feet or less. Changes in facade material, building height, window style or architectural detail are examples of techniques that may be permitted to break up a facade.	X			Proposed development meets this requirement.
<i>Building Orientation and Parking</i>				
1) Commercial buildings shall be constructed to the edge of the sidewalk with zero setbacks.			X	Not applicable to request.
2) Multi-family buildings shall be constructed with setbacks that lie within the established setback range of the block.	X			Proposed development meets this requirement.
3) Principal building entrances shall be a prominent feature of the building's facade and should face the primary street serving the development.	X			Proposed development meets this requirement.
4) Parking should be located behind buildings when feasible. Parking lots adjacent to sidewalks are discouraged.	X			Proposed development meets this requirement.
<i>Architectural Details</i>				
1) The facade should have a vertical orientation and maintain the traditional proportions of height and width found in existing historic buildings in the CB-O District.	X			Proposed development meets this requirement.
2) The top edge of the building shall be defined by a cornice line or similar articulation.	X			Proposed development meets this requirement.
3) Windows and doors shall be located, spaced and aligned on the building facade in a manner consistent with the established context of the block.	X			Proposed development meets this requirement.
4) The sizes of windows and doors shall be consistent with the proportions of historic buildings in the District.	X			Proposed development meets this requirement.
5) Highly reflective, opaque or darkly tinted glass shall not be used for windows or doors.	X			Proposed development meets this requirement.
6) All new construction shall use compatible and traditional building materials such as brick, limestone and metalwork. A creative mix of materials consistent with the historic character of the area may be considered.	X			Proposed development meets this requirement.
7) Materials shall be used in a manner that incorporates architectural details, complementary textures and small scale elements, especially on the first floor of the primary façade.	X			Proposed development meets this requirement.
<i>Signage</i>				
1) New signage shall respect the size, scale and design of the building to which it is attached, and the buildings of the surrounding District. New signage shall not obscure significant architectural details of a historic structure.			X	Not applicable to request.
2) Acceptable forms of signage include signs integrated into or affixed flat against a building façade, wall signs, projecting signs and monument signs. Other types of signage may be considered if compatible with the unique character of the District.			X	Not applicable to request.

DRAWINGS OF PROPOSED IMPROVEMENTS FOR OAKHILL VILLAGES IN THE CITY OF CEDAR RAPIDS, LINN COUNTY, IOWA

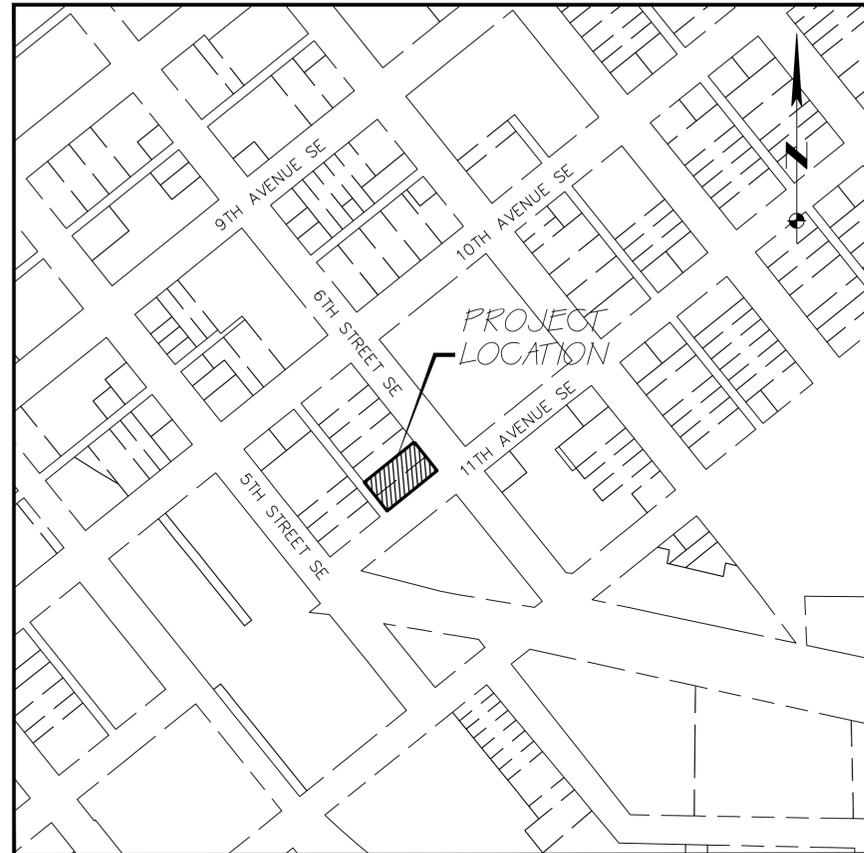
UTILITY AND EMERGENCY TELEPHONE NUMBERS

CITY OF CEDAR RAPIDS, IOWA

PUBLIC WORKS DEPARTMENT	(319)-286-5802
POLICE DEPARTMENT	(319)-286-5491
EMERGENCY	911
FIRE DEPARTMENT	(319)-286-5200
EMERGENCY	911
WATER DEPARTMENT	(319)-286-5910
SEWER MAINTENANCE DEPARTMENT	(319)-286-5815
IOWA ONE CALL (UTILITIES)	(800)-292-8989
MID-AMERICAN ENERGY	(319)-298-5162
CENTURY LINK (TELEPHONE)	
ENGINEER, WEST SIDE	(319)-399-7600
ENGINEER, EAST SIDE	(319)-399-7487
ALLIANT/I.E.S. INDUSTRIES (ELECTRIC, STEAM)	
INFORMATION	(319)-786-1912 (319)-786-1959
MEDIACOM (CABLE TV)	
BUSINESS	(319)-395-9699
LOCATIONS	(800)-292-8989
WINDSTREAM (TELEPHONE / CABLE TV)	
BUSINESS	(319)-790-7114
LOCATIONS	(800)-292-8989
IMON (TELEPHONE / CABLE TV)	(319)-261-4670
SOUTHSLOPE (TELEPHONE / CABLE TV)	(319)-665-5312
LINN COUNTY REC	(319)-377-1587
CEDAR RAPIDS AND IOWA CITY RAILWAY COMPANY	(800)-283-1540
IOWA DEPARTMENT OF TRANSPORTATION	
DISTRICT ENGINEER	(319)-364-0235
MAINTENANCE GARAGES	(319)-364-8189
LINN COUNTY ENGINEER	(319)-892-6400
LINN COUNTY MAINTENANCE	(319)-892-6420

LOCATION MAP

(1" = 200')



SHEET INDEX

NO.	DESCRIPTION
C1.0	COVER
C2.0	SITE LAYOUT AND DEMOLITION PLAN
C3.0	SITE UTILITIES AND PAVING PLAN
C4.0	SITE GRADING AND EROSION CONTROL PLAN
C5.0	SITE CONSTRUCTION NOTES AND DETAILS
L1.0	SITE LANDSCAPE PLAN

GENERAL NOTES

APPLICANT

SKY'S EDGE DEVELOPMENT, LLC
%ALLEN LERCH
1113 6TH STREET SE, STE A
CEDAR RAPIDS, IA 52401
PHONE: 319-202-6417

OWNER

SKY'S EDGE DEVELOPMENT, LLC
%ALLEN LERCH
1113 6TH STREET SE, STE A
CEDAR RAPIDS, IA 52401
PHONE: 319-202-6417

CONTACT PERSON

BRENT JACKMAN, P.E.
1860 BOYSON RD.
HIAWATHA, IA 52233
PH: 319-362-9548
FAX: 319-362-7595
EMAIL: BRENT@HALLENG.COM

USE

SINGLE-FAMILY PUD-2

ZONING

EXISTING: RTN
PROPOSED: PUD-2

PROPERTY ADDRESS

1023 6TH STREET SE
1027 6TH STREET SE

PARKING REQUIREMENTS

REQUIRED PARKING 2/DWELLING UNIT
2 STALLS X 4 UNITS= 8 STALLS REQUIRED.

STALLS PROVIDED 10 GARAGE STALLS

PER ZONING ORDINANCE, CH 32, SEC 32.05.020 B.-6.b

THE NUMBER OF PARKING SPACES PROVIDED ON ANY SITE SHALL NOT EXCEED THE FOLLOWING:
FOR USES REQUIRING FEWER THAN 100 PARKING STALLS, A MAXIMUM OF ONE HUNDRED TWENTY (120%) PERCENT OF THE MINIMUM PARKING MAY BE PROVIDED, EXCEPT AS FOLLOWS:

A. SINGLE AND TWO-FAMILY RESIDENTIAL DWELLING UNITS SHALL BE EXEMPT FROM THIS LIMITATION.

AREA CALCULATIONS

TOTAL LAND AREA: 11,200 S.F.= 0.25 ACRES
TOTAL DWELLING UNITS: 4 UNITS/ONE BUILDING
TOTAL DWELLING UNIT COVERAGE 2,450 S.F.= 0.05 ACRES
DETACHED GARAGE: 10 STALLS
DETACHED GARAGE COVERAGE: 2,580 S.F.= 0.06 ACRES
PAVED COVERAGE: 2,779 S.F.= 0.06 ACRES
OPEN SPACE: (GREEN SPACE): 3,391 S.F.= 0.08 ACRES (32%)

LEGAL DESCRIPTION

THE NW-1/4 20 FEET OF LOT 6,
AND THE SE-1/4 20 FEET OF LOT
7, BLOCK 18, CARPENTER'S THIRD
ADDITION TO THE TOWN OF CEDAR
RAPIDS, LINN COUNTY, IOWA
AND

THE SE-1/4 40 FEET OF LOT 6,
BLOCK 18, CARPENTER'S THIRD
ADDITION TO THE TOWN OF CEDAR
RAPIDS, LINN COUNTY, IOWA

DENSITY CALCULATION

4 UNITS/0.25 AC=16 UNIT/AC.

TYPICAL RTN MIN. LOT SIZE

4,200 SF./DWELLING UNIT, WITH
MAX. LOT COVERAGE OF 50%

PROPOSED PUD-2 MIN. LOT SIZE

2,800 SF./DWELLING UNIT.

TYPICAL RTN YARD SET-BACK

FRONT YARD	15 FEET
REAR YARD	10 FEET
INTERIOR SIDE DETACHED/ ATTACHED	5 FEET/8 FEET
CORNER SIDE	5 FEET 10 FEET/FOR 35' LOT OR LESS 5 FEET

PROPOSED PUD-2 YARD SET-BACK

FRONT YARD	5 FEET
REAR YARD	5 FEET
SIDE YARD	5 FEET
CORNER SIDE	5 FEET

* ALL SETBACKS ARE PROPOSED
FOR THIS PUD-2

FLOOD PLAIN

100 YR FLOOD PLAIN ELEV=722.60

NOTES

ALL UTILITIES AND
INFRASTRUCTURE SUPPORTING
THE SITE ARE EXISTING AND IN
PLACE.

LANDSCAPE REQUIREMENTS

CORE AREA:
BUFFER-YARD:
SIDE DEPTH 15FT (PUD-2 PROPOSED DEPTH 5FT SCREENING)

PARKING LOT SCREENING REQUIRED: - PROVIDED

PARKING LOT LANDSCAPING: 1 TREE/ 12 SPACES
10 SPACES/12=1 TREE REQUIRED, 1 PROVIDED

STREET TREES (IN ROW):

1 TREE/40 LF
6TH STREET SE: 80 LF/ 40 FT = 2 TREES
11TH AVE. SE: (140-24) LF/ 40 FT = 3 TREES

UTILITY LEGEND

EXISTING	PROPOSED
(SSB)	SSB
(ST15)	ST18
(FM6)	FM6
(W8)	W12
(G)	G
(S)	S
(OHE)	OHE
(E)	E
(C)	C
(OHC)	OHC
(OHT)	OHT
(F)	F
(OHF)	OHF
(T)	T
(FP)	FP
(FW)	FW
(CORP)	CORP
800	800
Light Pole w/o Mast	Light Pole w/Mast
Telephone Pole	Telephone Pole
Power Pole	Power Pole
Guy Anchor	Guy Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Cable TV Pedestal	Cable TV Pedestal
Utility/Control Cabinet	Utility/Control Cabinet
Sanitary Manhole	Sanitary Manhole
Grate Intake	Grate Intake
RA-3 Intake	RA-3 Intake
RA-5 Intake	RA-5 Intake
RA-6 Intake	RA-6 Intake
RA-8 Intake	RA-8 Intake
Horseshoe Catch Basin w/o Flume	Horseshoe Catch Basin w/Flume
Gas Valve	Gas Valve
Flared End Section	Flared End Section
Cleanout, Storm or Sanitary	Cleanout, Storm or Sanitary
Traffic Signal w/Mast	Traffic Signal w/Mast

UTILITY LEGEND (CONTINUED)

EXISTING	PROPOSED
BM	BM
Well	Well
Soil Boring	Soil Boring
Fire Hydrant	Fire Hydrant
Water Valve	Water Valve
Water Shutoff	Water Shutoff
Water Blowoff	Water Blowoff
SCM	SCM

SURVEY LEGEND

○	SET REBAR W/CAP NO.
□	SET PK NAIL
●	FOUND SURVEY MONUMENT AS NOTED
⊕	FOUND RIGHT OF WAY RAIL
△	SECTION CORNER SET AS NOTED
▲	SECTION CORNER FOUND AS NOTED
x	CUT "X" IN CONCRETE
()	RECORDED AS
---	EASEMENT LINE
---	PLAT OR SURVEY BOUNDARY
---	PLAT LOT LINE
---	CENTERLINE
---	SECTION LINE
---	1/4 SECTION LINE
---	1/4-1/4 SECTION LINE
---	EXISTING LOT LINE
---	BUILDING SETBACK LINE

PLANT LEGEND

EXISTING	PROPOSED
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Deciduous Shrub	Deciduous Shrub
Coniferous Shrub	Coniferous Shrub
Tree Stump	Tree Stump
Tree Line Drip Edge	Tree Line Drip Edge

NOTE

THE PROPOSED IMPROVEMENTS INCLUDED IN THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE CEDAR RAPIDS METROPOLITAN AREA DESIGN STANDARDS MANUAL.

BENCHMARKS:

BM #1 :POINT # 2 SET 1/2" REBAR AT NW CORNER OF 6TH ST AND 11TH AVE SW
N: 3458672.055 E: 5422702.426 ELEV: 722.88

BM #2 :POINT # 18 FND 5/8" REBAR ACROSS ALLEY FROM SW CORNER OF PROPERTY
N: 3458608.703 E: 5422532.682 ELEV: 721.18

HORIZONTAL CONTROL:

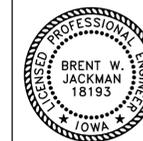
CM #1 :POINT # 12 FND 1/2" REBAR
N: 3458678.590 E: 5422681.181
ELEV: 722.48

CM #2 :POINT # 14 FND 1/2" REBAR
N: 3458559.426 E: 5422297.264
ELEV: 720.25

STREET CLASSIFICATIONS DESIGN DATA-URBAN

6TH STREET S.E. (LOCAL)
- DESIGN SPEED: 30 MPH
- POSTED SPEED: 25 MPH
- RIGHT OF WAY WIDTH: 80'

11TH AVENUE S.E. (LOCAL)
- DESIGN SPEED: 30 MPH
- POSTED SPEED: 25 MPH
- RIGHT OF WAY WIDTH: 66'



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signed: _____ Date: _____

Brent W. Jackman, P.E. 18193
My license renewal date is December 31, _____

Pages or sheets covered by this seal: _____



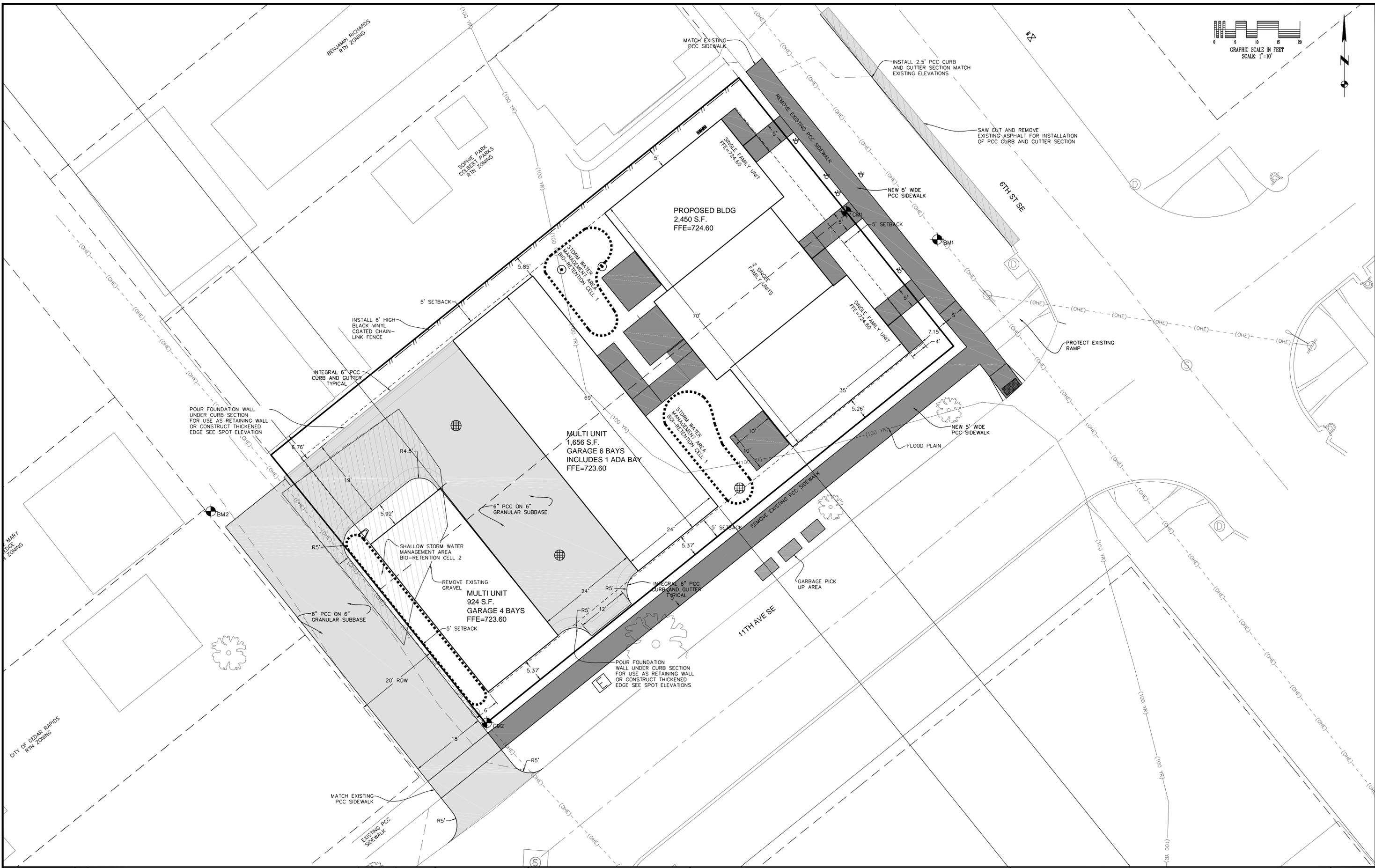
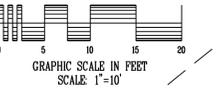
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www.iowaonecall.com



CITY FILE NUMBER: ASDP-014584-2014

HALL AND HALL PROJECT NUMBER: 10220





DRAWN BY: DAS				
CHECKED BY: BWJ				
APPROVED BY: BWJ				
DATE: 12/23/14				
FIELD BOOK: XXX	NO.	REVISION DESCRIPTION	APPROVED	DATE

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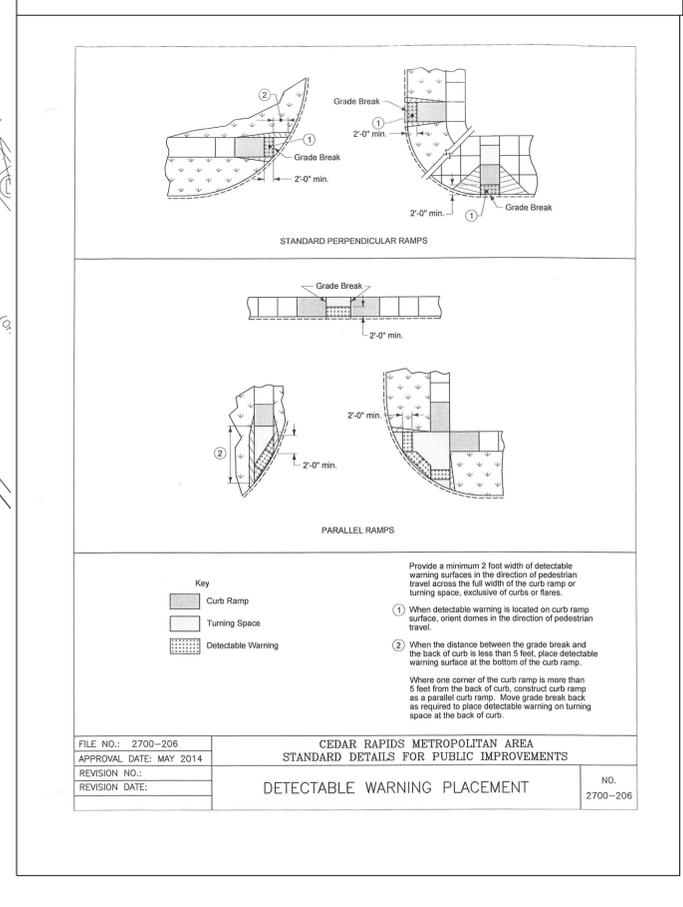
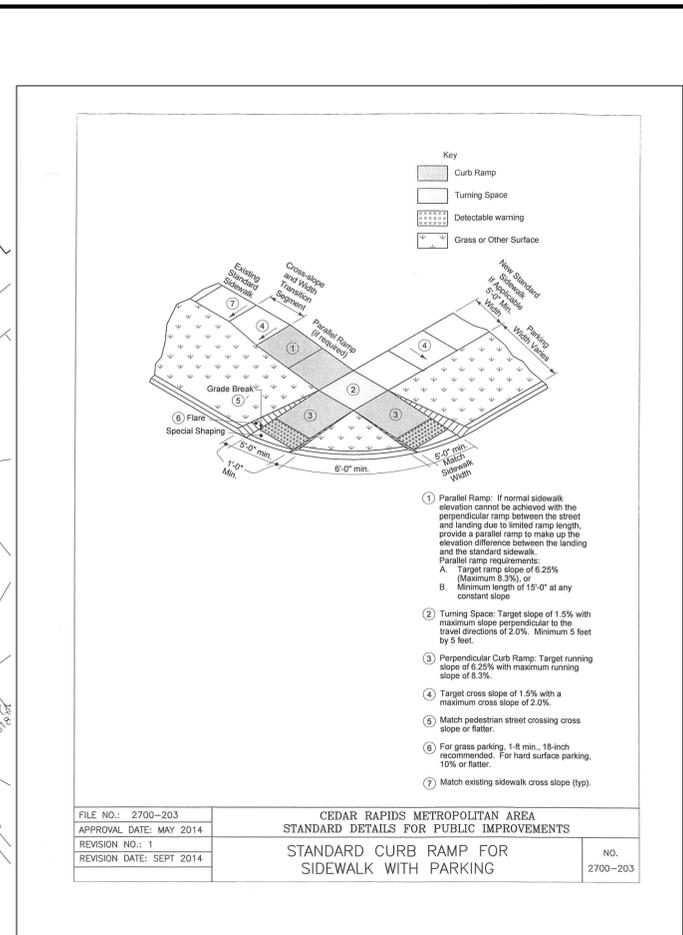
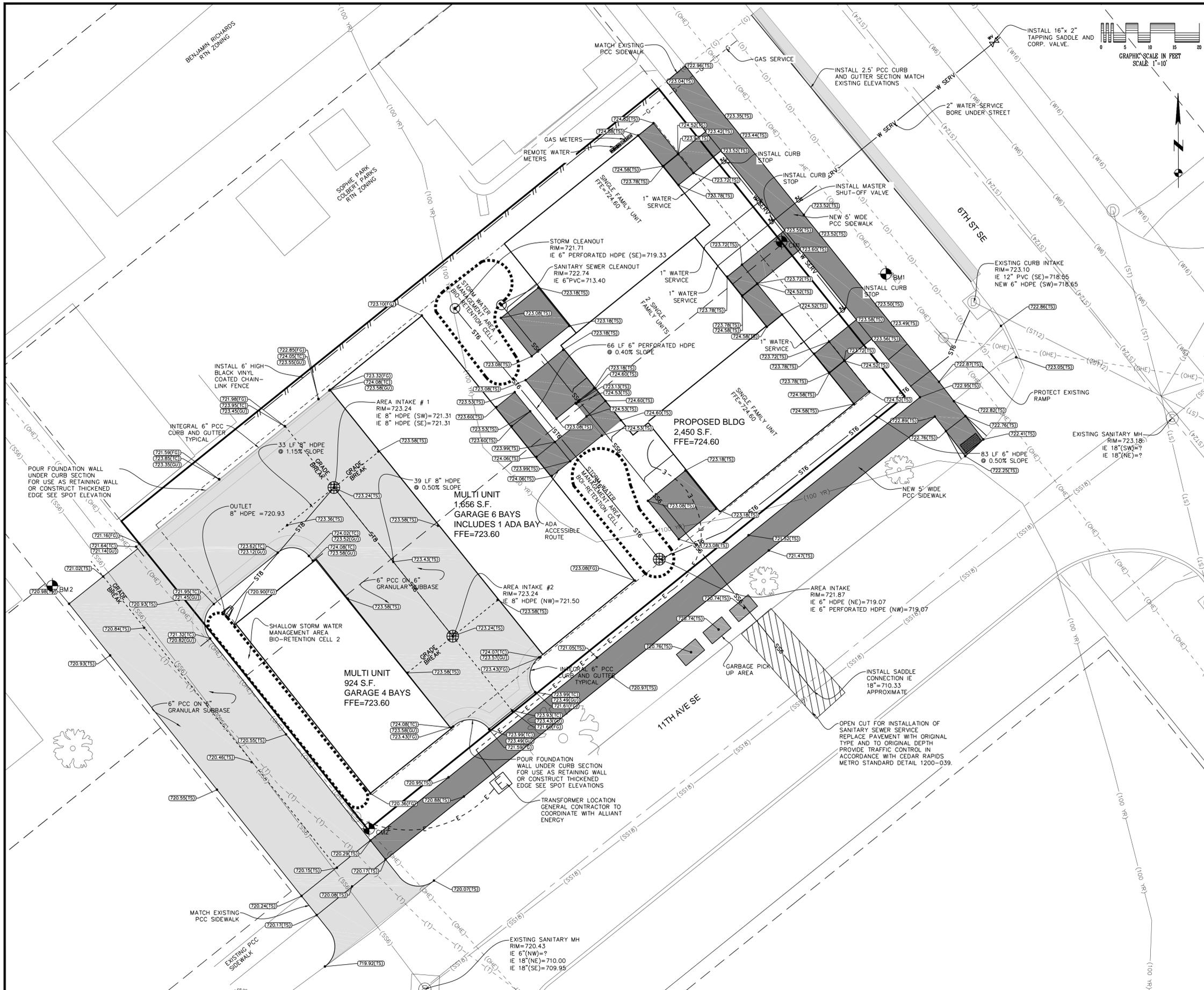
OAK HILL VILLAGES
 CITY OF CEDAR RAPIDS,
 LINN COUNTY, IOWA

SITE LAYOUT AND DEMOLITION PLAN

SHEET
C2.0

PROJECT NO: 10220

CAD File: I:\Projects\10200\10220 6th Street Redevelopment - Lerch\DWG\PO\10220-802.dwg Date Plotted: Dec 23, 2014 - 11:23am Plotted By: DAVID SELMAN

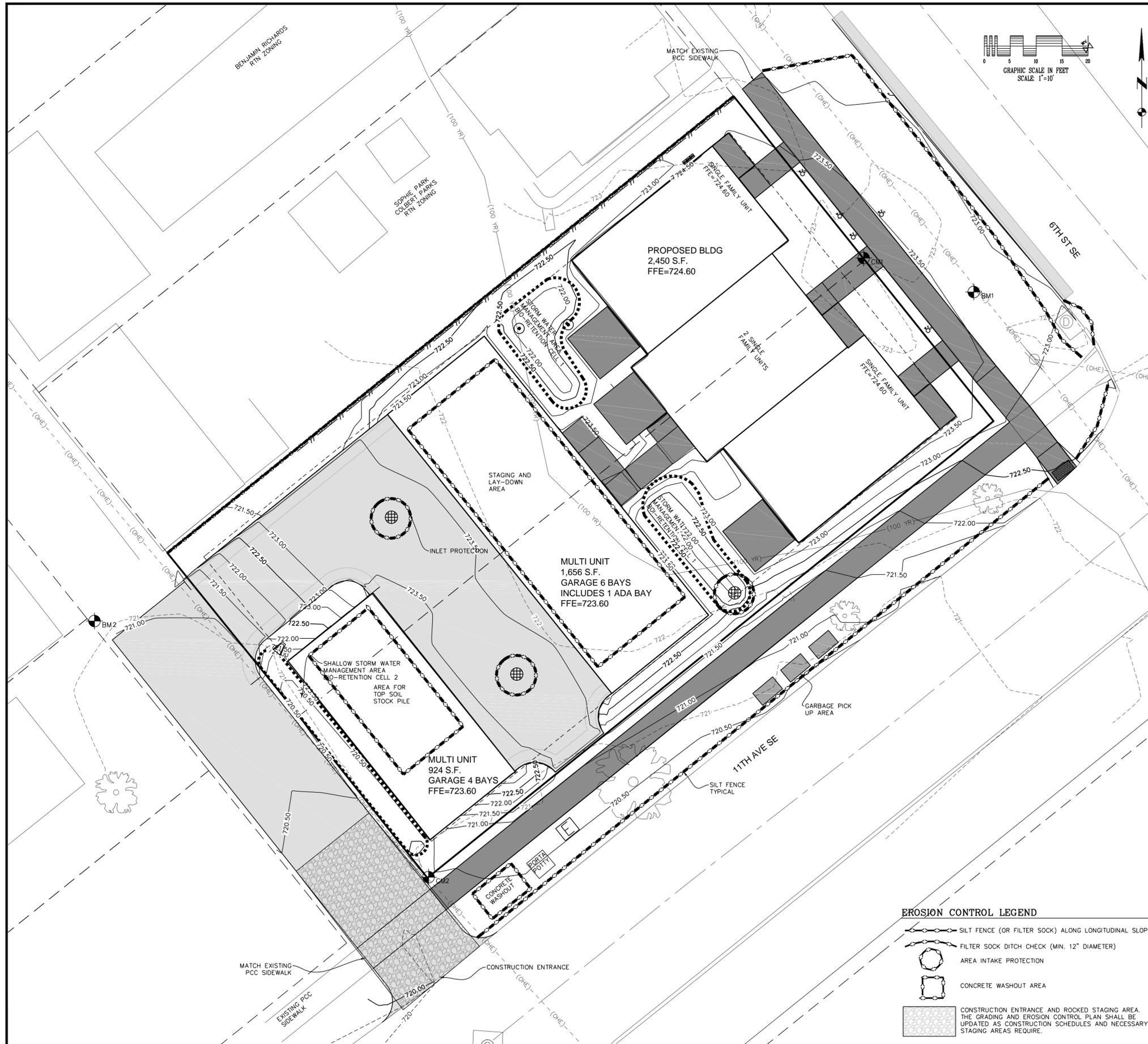


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CEDAR RAPIDS
City of Five Seasons

OAK HILL VILLAGES
CITY OF CEDAR RAPIDS,
LINN COUNTY, IOWA

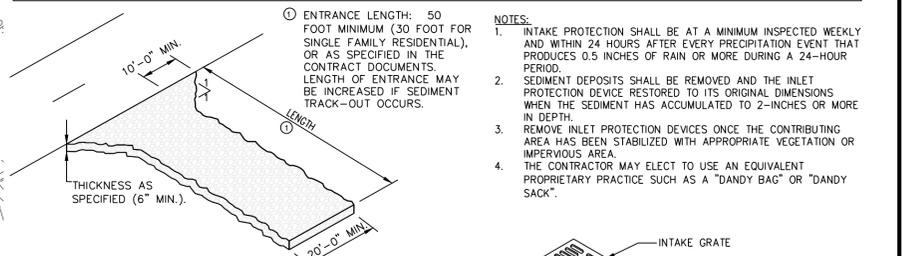


EROSION CONTROL NOTES:

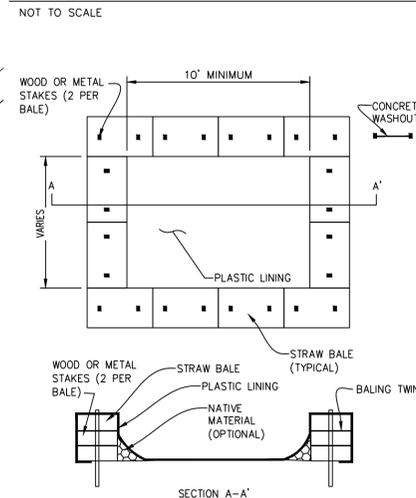
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE APPROVED PLAN AND DETAILS/SPECIFICATIONS, PER THE STORM WATER POLLUTION PREVENTION PLAN AND AS DEEMED NECESSARY BY THE JURISDICTIONAL ENGINEER.
2. PERIMETER EROSION CONTROL METHODS SHALL BE IN PLACE PRIOR TO AREAS BEING DISTURBED.
3. EROSION CONTROL DEVICES SHALL BE CHECKED BY THE GENERAL CONTRACTOR EVERY SEVEN (7) DAYS AND AFTER EACH RAINFALL EVENT EQUAL TO 1/2" OR GREATER TO ENSURE WORKING ORDER.
4. REPAIRS TO SOIL EROSION CONTROL DEVICES DEEMED NECESSARY SHALL BE COMPLETED IMMEDIATELY UPON NOTIFICATION OR WITHIN 24 HOURS IF WEATHER DELAYS.
5. THE CONTRACTOR SHALL STRIP AND STOCKPILE THE TOPSOIL, AND RESPREAD THE TOPSOIL IN ACCORDANCE WITH THE LANDSCAPE PLAN FOR FINISHED GRADE WORK. ANY EXCESS TOPSOIL TO BE DISPOSED OF PER APPLICABLE REGULATIONS AND OWNER'S DISCRETION.
6. WHEN CONSTRUCTION ACTIVITIES ARE COMPLETE, RESPREAD TOPSOIL OVER THE DISTURBED SITE PER THE LANDSCAPE PLAN. THEN PROVIDE SEEDING OR SODDING PER THE PROPOSED LANDSCAPING PLAN.
7. PROVIDE TEMPORARY SEEDING IN DISTURBED AREAS WHERE OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL NOT BE COMPLETED FOR A PERIOD OF 7 DAYS OR MORE.
8. SILT FENCES, IF USED, SHALL BE INSTALLED PER DETAIL AS SHOWN ON IN THE PLAN. ADDITIONAL SILT FENCE SHALL BE INSTALLED AS NECESSARY BY THE CONTRACTOR. MAINTENANCE AND/OR REPLACEMENT OF THE SILT FENCE IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR.
9. CONTRACTOR SHALL INSTALL TEMPORARY SILT FENCE, COMPOST SOCKS OR EQUIVALENT AROUND ALL INTAKES. EROSION CONTROL SOCKS OR EQUIVALENT SHALL BE USED AT STREET INTAKES ONCE THE STREET PAVING HAS BEEN COMPLETED. EROSION SOCKS SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
10. THE DETAILS SHOWN HEREIN DESCRIBES VARIOUS METHODS OF CONSTRUCTION WHICH MAY BE REQUIRED FOR THE CONTROL OF SILTATION ON THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCOMPLISHING THE REQUIRED CONSTRUCTION WORK ON THIS PROJECT IN SUCH A MANNER AS TO EFFECTIVELY MINIMIZE AND CONTROL THE WATER POLLUTION WHICH MIGHT BE CAUSED BY SOIL EROSION FROM THE PROJECT. IT IS INTENDED THAT THESE FEATURES BE MAINTAINED IN APPROPRIATE FUNCTIONAL CONDITION FROM INITIAL CONSTRUCTION STAGES TO FINAL COMPLETION OF PROJECT.
12. IN ADDITION TO THE DETAILS SHOWN, OTHER PROVISIONS FOR CONTROLLING EROSION MAY BE INCORPORATED INTO THE PROJECT WORK.
13. CONTRACTOR TO REGULARLY CLEAN STREETS/DRIVES OF SOIL TRACKED FROM SITE WITHIN A PERIOD OF 24 HOURS.
14. CONTRACTOR SHALL PROTECT ROW AND COORDINATE ANY WORK AFFECTING NEIGHBORING PROPERTIES.
15. PROVIDE SILT FENCE OR EQUIVALENT AT ALL AREAS WHERE EROSION MAY BE POSSIBLE TO LEAVE SITE BASED ON CONTRACTORS CONSTRUCTION ACTIVITIES.
16. ALL MATERIALS HAULED OFF-SITE SHALL BE SECURED TO PREVENT LITTERING

NOTICE:
THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES FROM THE DATE CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION. ALL OPERATORS/CONTRACTORS WORKING ON-SITE MUST SIGN THE CERTIFICATION STATEMENT PROVIDED AND WILL BECOME CO-PERMITTEES ON THE NPDES GENERAL PERMIT NO. 2 FOR THIS SITE. ALL OPERATORS/CONTRACTORS WORKING ON-SITE SHALL BE SUPPLIED A COPY OF THE SWPPP AND MUST BE FAMILIAR WITH ITS CONTENTS. THE SWPPP MUST BE PERIODICALLY UPDATED TO SHOW CURRENT EROSION CONTROL PRACTICES. UPDATED VERSIONS OF THE SWPPP WILL BE PROVIDED TO ALL OF THE OPERATORS/CONTRACTORS WHO ARE AFFECTED BY THE CHANGES MADE TO THE SWPPP. IT WILL BE THE DUTY OF THE PERMITTEE (OWNER OR GENERAL CONTRACTOR) TO SEE THAT THESE REQUIREMENTS ARE MET.

THE EROSION CONTROL PLAN SHALL BE UPDATED AS CONDITIONS AND/OR CONTROL LOCATIONS CHANGE.
IF CONTROL LOCATIONS CANNOT BE PRE-DETERMINED, THE SWPPP MANAGER SHALL ADD THEM TO THE EROSION CONTROL PLAN AS THEY ARE IMPLEMENTED.
THE FOLLOWING CONTROLS SHALL BE ADDED TO THE GRADING AND EROSION CONTROL BY THE SWPPP MANAGER AS THEY ARE IMPLEMENTED:
1. CONSTRUCTION PARKING
2. HAZARDOUS MATERIAL/CHEMICAL STORAGE
3. GARBAGE/RECYCLING FACILITIES
4. JOB TRAILER LOCATION

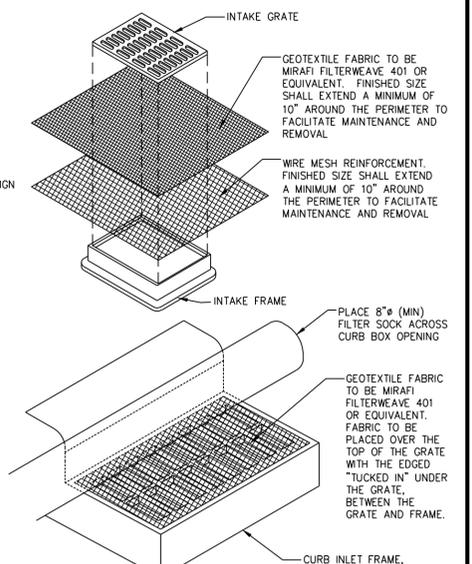


STABILIZED CONSTRUCTION ENTRANCE



CONCRETE WASHOUT DETAIL

NOT TO SCALE (OR APPROVED EQUAL)



TYPICAL INTAKE PROTECTION DETAILS

NOT TO SCALE

EROSION CONTROL LEGEND

- SILT FENCE (OR FILTER SOCK) ALONG LONGITUDINAL SLOPE
- FILTER SOCK DITCH CHECK (MIN. 12" DIAMETER)
- AREA INTAKE PROTECTION
- CONCRETE WASHOUT AREA
- CONSTRUCTION ENTRANCE AND ROCKED STAGING AREA. THE GRADING AND EROSION CONTROL PLAN SHALL BE UPDATED AS CONSTRUCTION SCHEDULES AND NECESSARY STAGING AREAS REQUIRE.

DRAWN BY: DAS					
CHECKED BY: BWJ					
APPROVED BY: BWJ					
DATE: 12/23/14					
FIELD BOOK: XXX	NO.	REVISION DESCRIPTION	APPROVED	DATE	

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CEDAR RAPIDS
City of Five Seasons

OAK HILL VILLAGES
CITY OF CEDAR RAPIDS,
LINN COUNTY, IOWA

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT SHOWN ON THIS DRAWING.
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- NOTIFY THE APPROPRIATE GOVERNING AUTHORITY 48 - 72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. THE CITY OF CEDAR RAPIDS, IOWA SHALL BE THE PUBLIC AGENCY RESPONSIBLE FOR INSPECTION DURING CONSTRUCTION OF THE PUBLIC PORTIONS OF THE PROJECT.
- NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION AND THE CITY OF CEDAR RAPIDS STANDARDS.
- ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE (IF APPLICABLE). ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL REFER TO BUILDING PLANS FOR BUILDING DIMENSIONS, STOOP SIZES AND LOCATIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS, SIZES, AND ELEVATIONS.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

SITE PREPARATION NOTES

- PROTECT ADJACENT PROPERTY DURING DEMOLITION.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE EASEMENTS, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND TEMPORARY HAUL ROADS TO PREVENT THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
- KEEP ADJACENT PUBLIC STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS.
- DURING CONSTRUCTION, CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- ANY EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT THE CONTRACTOR'S OPERATIONS DAMAGE SHALL BE REPAIRED BY THAT CONTRACTOR AT HIS/HER COST.
- WHERE A SECTION OF PAVEMENT, CURB AND GUTTER OR SIDEWALK IS CUT OR OTHERWISE DAMAGED BY THE CONTRACTOR, THE ENTIRE SECTION SHALL BE REMOVED AND REPLACED. PAVEMENT, CURBS, GUTTERS AND SIDEWALKS SHALL BE REMOVED A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
- SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
- EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN ONE OF THE FOLLOWING WAYS:
 - CONNECT TILE TO THE NEAREST STORM SEWER,
 - DAYLIGHT TO FINISHED GROUND,
 - REPAIR TILE AND MAINTAIN SERVICE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF A TILE IS ENCOUNTERED AND SHALL INDICATE THE METHOD OF RESOLVING THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD. THE LOCATION OF THE FIELD TILE SHALL BE RECORDED ON THE CONSTRUCTION RECORD DOCUMENTS.

GRADING NOTES

- STRIP EXISTING VEGETATION WITHIN THE GRADING LIMITS AND AREAS TO RECEIVE FILL. STOCKPILE ON-SITE FOR REUSE IF SUITABLE.
- PROOF ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. PROOFROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT.
- REMOVE AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO MEET SPECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT.
- SCARIFY EXISTING SUBGRADE TO A DEPTH OF 8 INCHES AND RECOMPACT TO 95% OF STANDARD PROCTOR DENSITY (ASTM D698) PRIOR TO PLACEMENT OF FILL.
- DO NOT PLACE, SPREAD, OR COMPACT ANY FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS AND DO NOT RESUME COMPACTION OPERATIONS UNTIL MOISTURE CONTENT AND DENSITY OF IN-PLACE FILL MATERIAL ARE WITHIN SPECIFIED LIMITS.
- PLACE FILL MATERIAL IN 9" MAXIMUM LIFTS.
- FILLS PLACED BELOW LAWN AREAS SHALL BE COMPACTED TO 90% OF MATERIALS MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D698).
- SCARIFY SUBGRADE TO DEPTH OF 3 INCHES WHERE TOPSOIL IS SCHEDULED. SCARIFY AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS CAUSED COMPACTED SUBSOIL.
- FILL MATERIAL OBTAINED FROM OFF-SITE SOURCES SHALL BE SOIL OR SOIL AND ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OF 6 INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2-1/2 INCHES IN GREATEST DIMENSION.
- SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS, REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT RESULTING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- FILL PLACED WITHIN THE BUILDING AREA AND IN AREAS TO BE PAVED SHOULD CONSIST OF APPROVED MATERIALS WHICH ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF 9 INCHES OR LESS IN LOOSE THICKNESS. FILL PLACED ABOVE SHALLOW FOOTING BASE ELEVATION FOR FLOOR SLAB SUPPORT IN THE BUILDING AREA AND MORE THAN 12 INCHES BELOW FINISHED SUBGRADE ELEVATION IN AREAS TO BE PAVED SHOULD BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DRY DENSITY (ASTM D698). THE UPPER 12 INCHES OF SUBGRADE IN AREAS TO BE PAVED AND FILL PLACED BELOW SHALLOW FOOTING BASE ELEVATION IN THE BUILDING AREA SHOULD BE COMPACTED TO AT LEAST 98% STANDARD PROCTOR DRY DENSITY (ASTM D-698). THE HIGHER DEGREE OF FILL COMPACTION BELOW FLOORINGS IN THE BUILDING AREAS SHOULD EXTEND Laterally BEYOND THE EXTERIOR EDGES OF PERIMETER FOOTINGS AT LEAST 8 INCHES PER FOOT BELOW FOOTING BASE ELEVATION.
- FINISH CONTOURS SHOWN ARE TO TOP OF PAVEMENT OR TO TOP OF TOPSOIL.
- CONTRACTOR SHALL GRADE GRASSED AREAS, BETWEEN FACE OF BUILDING AND BACK OF WALK, TO DRAIN TO YARD DRAINS WITH POSITIVE DRAINAGE AWAY FROM BUILDINGS.

TRENCH, BEDDING, AND BACKFILL NOTES

- TRENCH WIDTH REQUIREMENTS BELOW THE TOP OF THE PIPE SHALL NOT BE LESS THAN 12 INCHES NOR MORE THAN 18 INCHES WIDER THAN OUTSIDE SURFACE OF ANY PIPE, CONDUIT OR CABLE, AND SHALL BE THE LEAST PRACTICAL WIDTH THAT WILL ALLOW FOR COMPACTION OF TRENCH BACKFILL.
- TRENCH STABILIZATION MATERIAL IF REQUIRED SHALL BE CRUSHED ROCK OR OTHER APPROVED MATERIAL WITH 100% PASSING THE 3" SIEVE AND 25%-95% PASSING THE 1" SIEVE. THIS MATERIAL SHALL HAVE A MAXIMUM FREE-THAW LOSS OF 5% WHEN TESTED IN ACCORDANCE WITH LABORATORY TEST METHOD 211, METHOD C. THE PLASTICITY INDEX SHALL NOT EXCEED 5.
- ACCURATELY GRADE TRENCH BOTTOM TO PROVIDE UNIFORM BEARING AND SUPPORT FOR EACH SECTION OF PIPE ON BEDDING MATERIAL AT EVERY JOINT ALONG ENTIRE LENGTH, EXCEPT WHERE NECESSARY TO EXCAVATE FOR BELL HOLES, PROPER SEALING OR PIPE JOINTS OR OTHER REQUIRED CONNECTIONS. DIG BELL HOLES AND DEPRESSIONS FOR JOINTS AFTER TRENCH BOTTOM HAS BEEN GRADED. DIG NO DEEPER, LONGER, OR WIDER THAN NEEDED TO MAKE PROPER JOINT CONNECTION.
- ALL TRENCH EXCAVATION SIDE WALLS GREATER THAN 5 FEET IN DEPTH SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED BY MEANS OF SUFFICIENT STRENGTH TO PROTECT THE WORKMEN WITHIN THEM IN ACCORDANCE WITH THE APPLICABLE RULES AND REGULATIONS ESTABLISHED FOR CONSTRUCTION, THE DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS (OSHA), AND BY LOCAL ORDINANCES. LATERAL TRAVEL DISTANCE TO AN EXIT LADDER OR STEPS SHALL NOT BE GREATER THAN 25 FEET IN TRENCHES 4 FEET OR DEEPER.
- GRANULAR BEDDING AGGREGATE FOR STORM AND SANITARY PIPE SHALL MEET THE FOLLOWING GRADATION:

SIEVE SIZE:	1-1/2	1	3/4	1/2	3/8	4	8
% PASSING:	100	95-100	50-100	20-65	10-65	0-20	0-8
- IF ON-SITE MATERIAL IS UNSUITABLE, UTILITY TRENCHES BENEATH PAVED SURFACES SHALL BE BACKFILLED WITH GRANULAR MATERIAL MEETING THE FOLLOWING GRADATION:

SIEVE SIZE:	1	3/4	4	8	30	200
% PASSING:	100	85-100	30-75	20-60	15-40	0-16
- PLACE TRENCH AND STRUCTURE EXCAVATION BACKFILL 12 INCHES OR MORE ABOVE TOP OF PIPE IN 7 INCH MAXIMUM LIFTS AND COMPACT TO 85% STANDARD PROCTOR DRY DENSITY (ASTM D698) IN UNSURFACED AREAS AND TO 95% STANDARD PROCTOR DRY DENSITY IN SURFACED AREAS. INSTALL A MINIMUM CUSHION OF 2 FEET OF COMPACTED BACKFILL ABOVE PIPE ENVELOPE BEFORE USING HEAVY COMPACTION EQUIPMENT.
- HAND PLACE AND COMPACT BACKFILL MATERIAL TO 12 INCHES ABOVE TOP OF PIPE TO 95% STANDARD PROCTOR DRY DENSITY (ASTM D698) IN SURFACED AREAS AND TO 90% STANDARD PROCTOR DRY DENSITY IN UNSURFACED AREAS.
- STORM SEWER TRENCHES MAY BE BACKFILLED WITH NATIVE EXCAVATED MATERIAL, IF SUITABLE.
- THE CONTRACTOR SHALL MAKE PROVISIONS TO HANDLE WATER ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE OF THE PROPOSED METHOD OF DEWATERING.

PAVEMENT GENERAL NOTES

- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB OR EDGE OF SLAB UNLESS NOTED OTHERWISE.
- REMOVE AND REPLACE OR RESTORE ALL STREET SIGNS, PAVEMENT MARKINGS, SIDEWALK LAMPS, SIDEWALKS, STEPS, LANDSCAPE STRUCTURES, CURB AND GUTTER, STREETS, DRIVES AND ALL OTHER SURFACE STRUCTURES REMOVED OR OTHERWISE DAMAGED DURING THE COURSE OF THE WORK. SIDEWALKS SHALL BE REMOVED AND REPLACED TO NEAREST JOINT BEYOND CONSTRUCTION AREA.
- COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH GRADING NOTES.
- GRANULAR SUBBASE FOR PAVEMENTS SHALL MEET THE LIMITS OF GRADATION NO. 14, IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4123.
- PROOF-ROLL SUBGRADE WITH A MINIMUM 25 TON G.V.W. TRUCK TO IDENTIFY AREAS OF SOFT OR UNSTABLE SUBGRADE. REMOVE AND REPLACE UNSTABLE AREAS WITH SUITABLE COMPACTED MATERIAL.

PCC PAVEMENT NOTES

- PCC PAVING THICKNESS SHALL BE AS NOTED ON THE PLANS AND DETAILS.
- MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
- MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5%. LIMESTONE AGGREGATE SHALL BE 1-1/2" MAXIMUM SIZE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT Poured JOINT SEALER.
- CURING COMPOUND (WHITE, DARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR SECTION 4105. APPLICATION METHOD AND CURING SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19.
- FLYASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIFIED IN SECTION 2301.04E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03b.
- CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
- PCC SIDEWALKS SHALL BE 4 INCHES THICK, EXCEPT AT DRIVEWAYS. THICKNESS OF PCC WALKS AT DRIVEWAYS SHALL MATCH THAT OF THE ADJACENT DRIVEWAY. TRANSVERSE CONSTRUCTION JOINTS SPACING SHALL BE AT 4 FEET MAXIMUM CENTERS FOR 4 FEET WIDE WALKS, AND 5 FEET MAXIMUM CENTERS FOR 5 FEET WIDE WALKS, 6 FEET MAXIMUM CENTERS FOR WALKS GREATER THAN 5 FEET IN WIDTH. LONGITUDINAL CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN SLABS GREATER THAN 8 FEET IN WIDTH. PLACE EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% DRAINING TOWARDS BACK OF CURB, UNLESS OTHERWISE NOTED.
- ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "T" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. ALL JOINTS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
- ALL PCC SHALL BE JOINTED AT 12 FEET O.C. MAXIMUM DISTANCE. JOINTING SHALL BE IN ACCORDANCE WITH CEDAR RAPIDS METROPOLITAN AREA STANDARD DETAILS FOR PUBLIC IMPROVEMENTS NUMBERS 2700-021, 2700-022, AND 2700-023.
- CONSTRUCT 1" EXPANSION JOINTS ON PCC CURB AT ALL ENDS OF RETURN RADI.

PAVEMENT MARKING NOTES

- PAINT PARKING STRIPING AND SIDEWALK CURBS, TRAFFIC DIRECTION ARROWS, HANDICAP SYMBOLS AND FACE OF LIGHT POLE BASES "WHITE" WHERE SHOWN ON PLANS. VERIFY COLOR OF PAVEMENT MARKINGS WITH OWNER PRIOR TO CONSTRUCTION.
- PAVEMENT MARKINGS SHALL BE FAST DRY TRAFFIC LANE MARKING PAINT CONFORMING TO IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST EDITION, SECTION 4183.03. REFLECTORIZED SPHERES FOR TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST EDITION, SECTION 4184.
- PAINTING SHALL NOT BEGIN UNTIL PAVEMENT SURFACE HAS BEEN POWER BROOMED AND HAND SWEEP AS NECESSARY TO REMOVE LOOSE MATERIALS AND DIRT, AND NOT BEFORE ADEQUATE CURING TIME HAS BEEN OBTAINED ON THE PAVEMENT.
- APPLY PAINT AT MANUFACTURER'S RECOMMENDED RATES IN TWO SEPARATE COATS FOR ALL PAVEMENT MARKINGS. ALL STRIPES ARE 4 INCHES WIDE UNLESS OTHERWISE INDICATED. HANDICAP SYMBOLS SHALL CONFORM TO APPLICABLE ADA REGULATIONS.

UTILITY NOTES

- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AS APPROVED BY THE IOWA DNR, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.
- SITWORK UTILITY CONTRACTOR TO EXTEND ALL PIPING TO WITHIN 5' OF BUILDING AND CAP FOR CONNECTION BY BUILDING UTILITY CONTRACTOR UNLESS OTHERWISE INDICATED. COORDINATE ALL INVERT ELEVATIONS AND PIPING LOCATIONS WITH BUILDING PLANS.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED WITH SAFETY FENCE, BARRIERS OR BARRICADES IN ACCORDANCE WITH OSHA.
- CONTRACTOR SHALL REFER TO BUILDING PLANS FOR UTILITY ENTRANCE LOCATIONS, SIZES, AND ELEVATIONS PRIOR TO BEGINNING UTILITY CONSTRUCTION.

WATER DISTRIBUTION NOTES

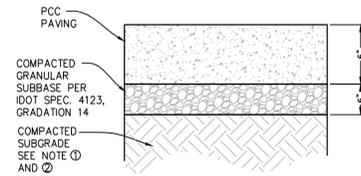
- ALL PERMITS SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT CEDAR RAPIDS UTILITIES DEPARTMENT WATER ENGINEERING OFFICE (319) 286-5950 TO OBTAIN A "START WORK" ORDER 24 HOURS PRIOR TO BEGINNING CONSTRUCTION OF WATER SYSTEM IMPROVEMENTS.
 - CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE IN THE CEDAR RAPIDS UTILITIES DEPARTMENT WATER ENGINEERING OFFICE, 1111 SHAVER ROAD NE.
 - ON SITE INSPECTION OF WATER MAIN INSTALLATION WILL BE PROVIDED BY THE MUNICIPAL UTILITY.
 - THE CONTRACTOR IS RESPONSIBLE TO CONTACT IOWA ONE-CALL 1-800-292-8989 PRIOR TO EXCAVATION.
 - WATER MAIN MATERIALS, INSTALLATION AND TESTING MUST COMPLY WITH CEDAR RAPIDS METROPOLITAN AREA (METRO) DESIGN STANDARDS AND SPECIFICATIONS. THIS APPLIES TO BOTH PUBLIC AND PRIVATE WATER MAINS AND LARGE SERVICE LINES (3" OR LARGER) ON THE DISTRIBUTION SIDE OF THE METER. FOR PUBLICLY ACCEPTED IMPROVEMENTS DONE WITH SUBDIVISION WORK, THE CONTRACTOR SHALL PURCHASE HYDRANTS AND VALVES FROM THE CITY PER CURRENT POLICY. EXCEPTIONS MUST BE PRE-APPROVED BY WATER ENGINEERING.
 - CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CEDAR RAPIDS UTILITIES DEPARTMENT WATER ENGINEERING OFFICE FOR ANY VARIANCE FROM THE APPROVED PLAN.
 - CONTRACTOR SHALL CONTACT CEDAR RAPIDS UTILITIES DEPARTMENT WATER ENGINEERING OFFICE (319) 286-5950 FOR THE FOLLOWING SERVICES: WATER SHUT DOWN, TAP, FLUSH & FILL, SAMPLING AND OTHER SERVICES RELATED TO THE WATER SYSTEM. DISPOSAL OF HIGHLY CHLORINATED WATER SHALL BE IN COMPLIANCE WITH LOCAL, STATE & FEDERAL CODES.
 - FOR WATER MAINS THAT ARE TO BE ACCEPTED INTO THE PUBLIC WATER DISTRIBUTION SYSTEM, THE CONTRACTOR SHALL WARRANT THE WORKMANSHIP AND MATERIAL OF THE INSTALLED WATER MAINS FOR A PERIOD OF TWO (2) YEARS FROM DATE OF ACCEPTANCE, AND SHALL FURNISH THE MUNICIPALITY WITH A MAINTENANCE BOND COVERING THE COST OF THE WATER IMPROVEMENTS FOR THAT PERIOD.
 - ALL SERVICE TAP MATERIALS ARE TO BE FURNISHED BY THE CONTRACTOR. THE WATER UTILITY WILL MAKE ALL TAPS USING CONTRACTOR SUPPLIED MATERIALS THAT COMPLY WITH "METRO" SPECIFICATIONS.
 - THE WATER UTILITY SHALL OPERATE ALL SYSTEM VALVES.
 - TRACER WIRE IS REQUIRED ON ALL PRIVATE AND PUBLIC WATER MAIN 3 INCHES IN DIAMETER OR LARGER. HOLES IN VALVE BOXES FOR TRACER WIRE MUST BE DRILLED.
 - WHERE WATER MAIN AND SANITARY SEWERS CROSS, ONE FULL (20 FOOT) LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SANITARY SEWER, AND THE VERTICAL DISTANCE SHOULD BE MAINTAINED 18 INCHES OR GREATER. WHERE WATER LINES AND SEWERS CROSS AND THE MINIMUM CLEARANCE CANNOT BE MAINTAINED, THE SEWER MUST BE CONSTRUCTED OF WATER MAIN GRADE AWWA C-900 SDR-18 PVC OR DUCTILE IRON PIPE WITH COMPRESSION FITTINGS OR MECHANICAL JOINTS IF WITHIN 10 FEET OF THE WATER MAIN.
 - UNLESS SPECIFICALLY APPROVED OTHERWISE, ALL LATERAL CONNECTIONS TO EXISTING MAINS THAT HAVE BEEN PREVIOUSLY TESTED AND TURNED INTO SERVICE, THAT ARE 4-INCH OR LARGER SHALL BE DONE BY LIVE TAP USING AN APPROVED TAPPING SLEEVE OR SADDLE AND VALVE.
 - WATER MAINS AND LARGE SERVICES (3" OR LARGER) OVER 20 FEET IN LENGTH ARE REQUIRED TO BE DISINFECTED, FLUSHED, FILLED AND PRESSURE TESTED. PRESSURE / LEAKAGE TESTS ARE CONDUCTED AT 150 PSI UNDER THE DIRECTION OF THE CEDAR RAPIDS WATER UTILITY.
 - ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C 651. NO WATER MAIN SHALL BE PLACED INTO SERVICE UNTIL ALL SAMPLES HAVE PASSED BACTERIOLOGICAL TESTS.
 - HEAVILY CHLORINATED WATER MAY NOT REMAIN IN THE PIPELINE FOR MORE THAN 48 HOURS. HEAVILY CHLORINATED WATER SHALL BE FLUSHED THOROUGHLY FROM THE PIPELINE, UNTIL THE REPLACEMENT WATER THROUGHOUT ITS LENGTH WILL BE EQUAL IN QUALITY TO PERMANENT SOURCE OF SUPPLY. THE CHLORINATED WATER SHALL BE NEUTRALIZED BY TREATING WITH SODIUM BISULFITE, SODIUM SULFITE, SODIUM THIOSULFATE OR EQUAL APPROVED CHEMICAL BEFORE DISPOSAL IN ORDER TO PREVENT DAMAGE TO THE PIPE LINING AND VALVE COMPONENTS FROM DRY POWDER OR TABLET CHLORINE THE FOLLOWING PROCEDURE MUST BE USED: IN CASES WHERE THE CONTRACTOR IS UTILIZING POWDER OR TABLET CHLORINE DEPOSITED INTO THE WATER MAIN WHILE IT IS BEING INSTALLED, THE MAIN MUST BE FILLED WITHIN 48 HOURS.
- THE CONTRACTOR IS RESPONSIBLE FOR WATER MAIN FLUSHING OPERATIONS. THIS RESPONSIBILITY INCLUDES BUT IS NOT LIMITED TO VERIFYING PROCEDURES, PROVIDING ADEQUATE PERSONNEL AND EQUIPMENT, OBTAINING APPROVAL TO DISCHARGE INTO STORM OR SANITARY SEWERS, MONITORING SEWERS FOR BACK-UPS, MONITORING FLOW AND DE-CHLORINATION RESULTS. WATER DIVISION PERSONNEL WILL OPERATE VALVES AS REQUESTED.
- IF INSTALLATION OF A CASING PIPE IS REQUIRED, IT SHALL INCLUDE CASING SPACERS AND WATERTIGHT MECHANICAL RUBBER END SEALS (METRO SPEC. 02250).

SANITARY SEWER NOTES

- SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS.
- 8-INCH SANITARY SEWER MAIN SHALL BE PVC TRUSS CONFORMING TO ASTM D2680, MINIMUM PIPE STIFFNESS OF 200 PSI (ASTM D2412). PLASTIC MATERIAL FOR PIPE AND FITTINGS SHALL BE A RIGID PVC PLASTIC AND SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM D1784 AND D1785. SPECIFICATION OF 12454. ALL JOINTS SHALL BE MADE WITH GASKETED BELL COUPLING CONNECTIONS. NO LEAKAGE WHEN GASKETED PIPE JOINTS ARE TESTED IN ACCORDANCE WITH ASTM D2680, SECTION 10.4.2 AND ASTM D3212. ELASTOMERIC SEALS (GASKETS) SHALL MEET THE REQUIREMENTS OF ASTM F477.
- SANITARY SEWER SERVICE PIPE AND FITTINGS SHALL BE SDR 23.5 POLYVINYL CHLORIDE (PVC), AND SHALL CONFORM TO ASTM D3034 WITH A MINIMUM PIPE STIFFNESS OF 153 PSI (ASTM D2412) PER CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATION SECTION 02300.
- CLASS B BEDDING SHALL BE USED FOR SANITARY SEWER CONSTRUCTION. COMPACTED BACKFILL IN PIPE ENVELOPE MAY BE SUITABLE EXCAVATED MATERIAL.

STORM SEWER NOTES

- RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) TO DEPTH OF COVER UP TO 12' CONFORMING TO ASTM C76 OR ASHTO M170.
- RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C BEDDING.
- HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORRUGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF THE CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS.
- HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS A BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR BACKFILL AGGREGATE TO A MINIMUM OF 12" ABOVE THE TOP OF THE PIPE.
- SUBDRAN MATERIAL SHALL BE RIGID PERFORATED POLYETHYLENE PIPE. MATERIAL SHALL BE ADVANCED DRAINAGE SYSTEMS, N-12, SMOOTH INTERIOR OR APPROVED EQUIVALENT.
- STORM SEWER LINES SHALL BE A MINIMUM OF 10' FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18" SEPARATION MUST BE PROVIDED.
- ALL LINE AND GRADE CONTROL WILL BE DONE WITH A LASER BEAM, WITH GRADE CHECKS AT 25', 50' AND THEN EVERY 100' BETWEEN MANHOLES.
- THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL ROOF DRAINS AND OTHER PERTINENT INFORMATION REGARDING THE STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.



PCC SECTION

- PAVEMENT SECTION IN CUT AREAS
 - SUITABLE EXISTING SUBGRADE: CUT TO DESIGN SUBGRADE ELEVATION. SCARIFY AND RECOMPACT THE TOP 12" TO 98% OF THE MATERIALS STANDARD PROCTOR DRY DENSITY.
 - EXISTING EXPANSIVE SOIL OR UNSUITABLE SOIL: OVER-EXCAVATE 12", REPLACE WITH SUITABLE ON-SITE FILL MATERIAL OR STRUCTURAL FILL. COMPACT IN ACCORDANCE WITH GRADING NOTES.
 - EXISTING GRADE SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PLACEMENT OF SUBBASE.
- PAVEMENT SECTION IN FILL AREAS SCARIFY TO A DEPTH OF 8" AND RECOMPACT.
 - PRIOR TO PLACEMENT OF FILL, EXISTING GRADE SHALL BE PROOF ROLLED TO IDENTIFY AREAS OF SOFT OR UNSUITABLE MATERIAL.
 - EXISTING EXPANSIVE OR UNSUITABLE SOIL: OVER-EXCAVATE MIN. 12", REPLACE WITH SUITABLE ON-SITE FILL MATERIAL. COMPACT IN ACCORDANCE WITH GRADING NOTES.
 - PLACE AND COMPACT SUITABLE FILL MATERIAL IN ACCORDANCE WITH GRADING NOTES AND FILL SPECIFICATIONS. COMPACT MATERIAL TO 95% OF THE MATERIAL'S STANDARD PROCTOR DRY DENSITY, UNLESS WITHIN 1.0 FOOT OF FINAL SUBGRADE ELEVATION. THEN COMPACT MATERIAL TO 98% OF THE MATERIALS STANDARD PROCTOR DRY DENSITY.

TYPICAL PCC SECTION
NOT TO SCALE

DRAWN BY: DAS							
CHECKED BY: BWJ							
APPROVED BY: BWJ							
DATE: 12/23/14							
FIELD BOOK: XXX	NO.	REVISION	DESCRIPTION	APPROVED	DATE		



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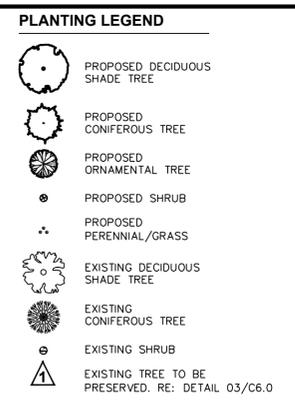
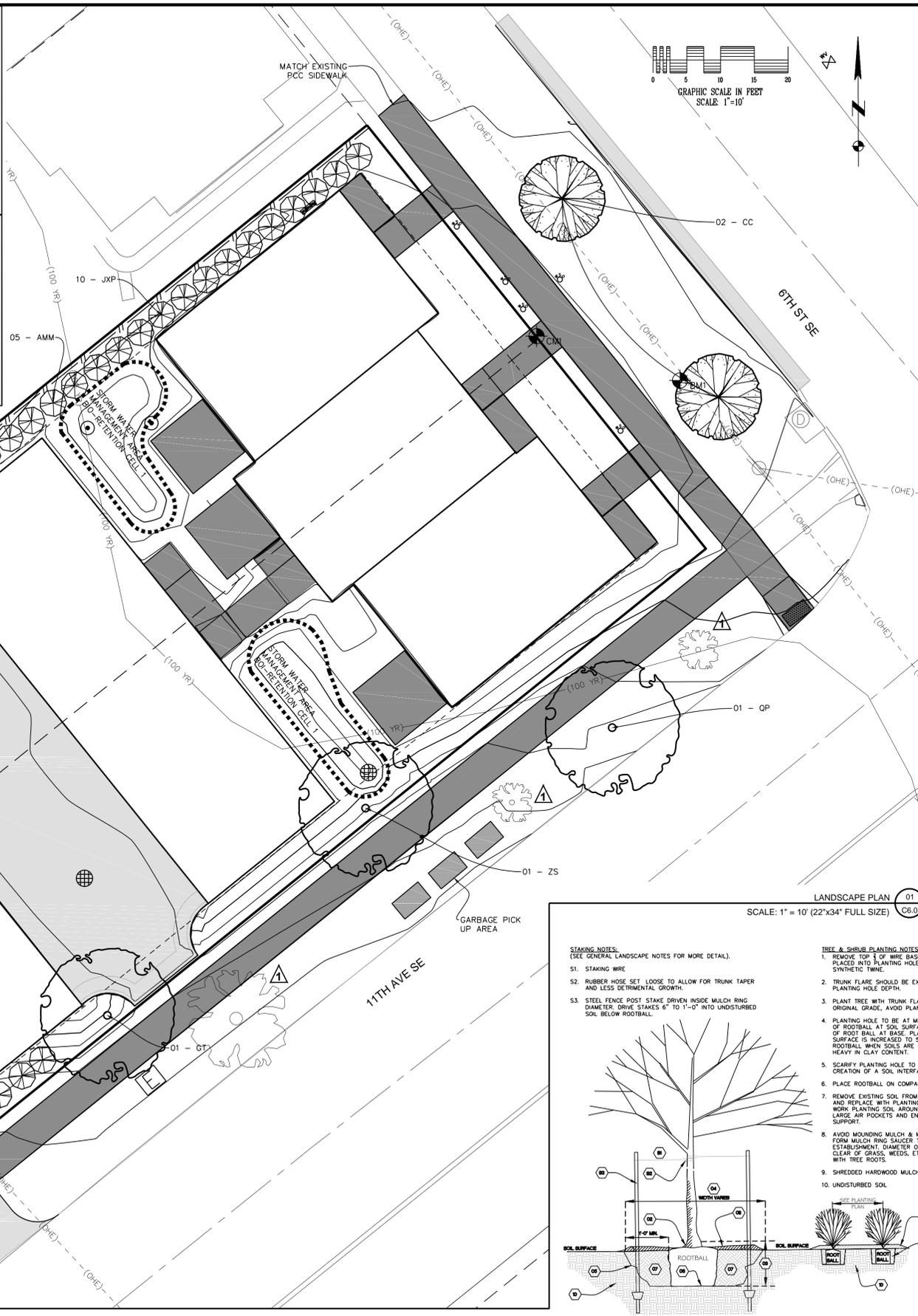
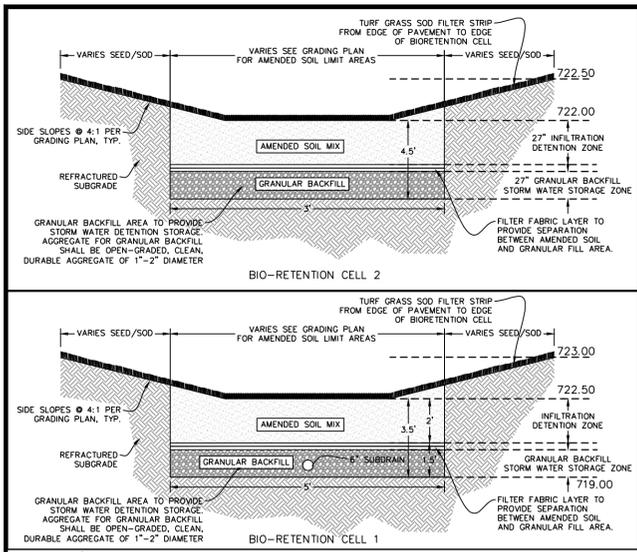
OAK HILL VILLAGES
 CITY OF CEDAR RAPIDS,
 LINN COUNTY, IOWA

SITE CONSTRUCTION NOTES AND DETAILS

SHEET **C5.0**

PROJECT NO: 10220

CAD File: I:\Projects\10220\10220_6th Street Redevelopment - Lerrach\DWG\F04\10220-802.dwg Date Plotted: Dec 23, 2014 - 11:24am Plotted By: DAVID SELINIAU



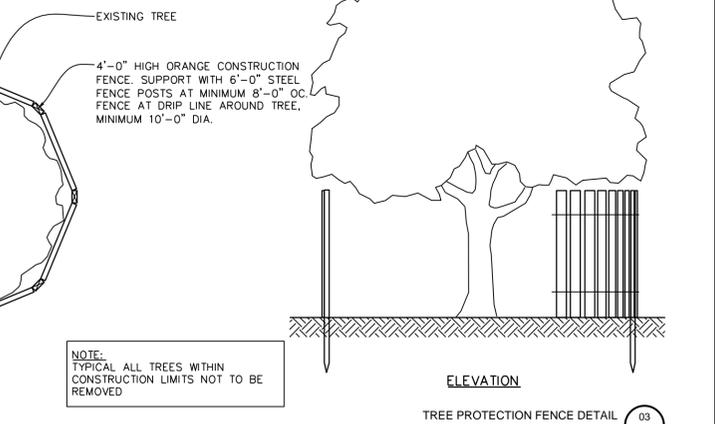
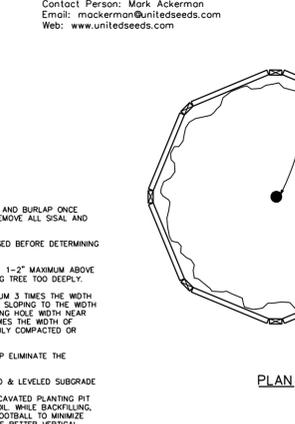
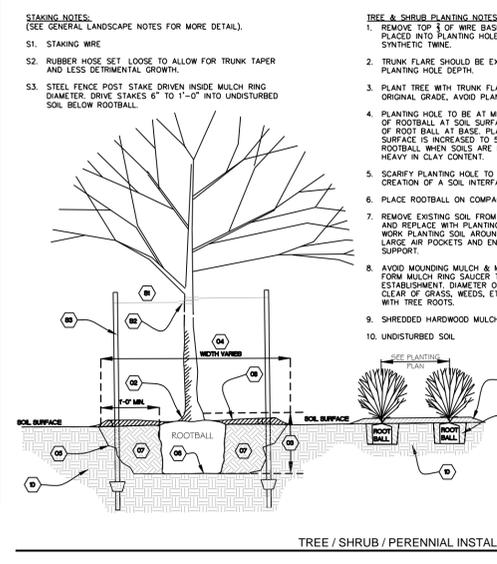
SEED/SOD APPLICATION NOTES

- IF TURF GRASS LAWN SEED ALTERNATE IS USED IN LIEU OF SOD, ALL SEEDING APPLICATION AREAS SHALL BE PROVIDED BY UNITED SEEDS INC. OR APPROVED EQUAL, CONTACT INFORMATION IS LISTED BELOW.
 - ALL TURF GRASS LAWN AREAS, WHETHER SODDED OR SEED, UNLESS NOTED OTHERWISE, ARE TO BE PLANTED AND INSTALLED AS PER THE 'TECHNICAL BULLETIN' FOR 'SOD GROWER II KENTUCKY BLUEGRASS BLEND' PROVIDED BY UNITED SEEDS, OR APPROVED EQUAL. 'TECHNICAL BULLETIN FOR SOD GROWER II KENTUCKY BLUEGRASS BLEND' CAN BE FOUND ON THE UNITED SEEDS WEBSITE: www.unitedseeds.com
 - ALL TURF GRASS SOD TO BE OF THE SAME PERFORMANCE QUALITY AND SPECIES TYPE OF THE 'SOD GROWER II KENTUCKY BLUEGRASS BLEND' PROVIDED BY UNITED SEEDS, OR APPROVED EQUAL. BLUEGRASS VARIETIES SHALL INCLUDE: 'CONCERTO', 'NU BLUE', 'BEYOND', AND 'EVEREST'.
 - NW STORM WATER DETENTION BASIN TO BE PLANTED/INSTALLED WITH SOD ON THE SIDE SLOPES AND SEEDED ON THE 20' WIDE BASIN BOTTOM (SEE PLAN DETAIL INFORMATION ON SHEETS C5.1 & C8.1). SODDED SIDE SLOPES SHALL BE 'SOD GROWER II' AS LISTED IN NOTE 3 ABOVE.
- SEED MIX IN THE 20' BASIN BOTTOM SHALL BE INSTALLED PER THE 'TECHNICAL BULLETIN' FOR 'SUPER TURF 1 LS' (TURF TYPE TALL FESCUE & PERENNIAL RYEGRASS WITH NO BLUEGRASS) PROVIDED BY UNITED SEEDS, OR APPROVED EQUAL. 'TECHNICAL BULLETIN' CAN BE FOUND ON UNITED SEEDS WEBSITE: www.unitedseeds.com
- CONTACT INFO:
 United Seeds Inc.
 1800 Dixon Ave, Suite A
 Des Moines, IA 50319
 Ph: 1-800-365-6674
 Contact Person: Mark Ackerman
 Email: markackerman@unitedseeds.com
 Web: www.unitedseeds.com

GENERAL LANDSCAPE NOTES:

- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8989) FOR AT LEAST 48 HOURS PRIOR TO DIGGING. REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY.
 - PRIOR TO PLANT MATERIAL INSTALLATION, THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS, FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING UTILITIES, TO MINIMIZE HAZARDS TO PLANT GROWTH AND TO IMPROVE MAINTENANCE CONDITIONS.
 - PRIOR TO INSTALLATION, ALL TREE PLANTING LOCATIONS SHALL BE FLAGGED AND PLANTING BEDS SHALL BE DELINEATED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. CONTACT THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ONE WEEK PRIOR TO ANTICIPATED PLANT MATERIAL INSTALLATION DATE FOR LAYOUT APPROVAL.
 - ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
 - PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE DISCREPANCIES OCCUR.
 - NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- BED PREPARATION AND MULCHING NOTES:**
- IMPORTED TOPSOIL, IF REQUIRED, SHALL BE: FERTILE, FRAGILE, NATURAL TOPSOIL, WITH A CLAY CONTENT NOT EXCEEDING 30% AND ORGANIC MATTER CONTENT NOT LESS THAN 5% FREE FROM LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL, WITH ACIDITY RANGE OF BETWEEN Ph 6.0 and 6.8.
 - PLANTING SOIL (i.e. BACKFILL AREAS AROUND ROOT BALLS AS SHOWN ON TREE/SHRUB INSTALLATION DETAIL) SHALL BE AMENDED, THOROUGHLY MIX 4 PARTS TOPSOIL, 1 PART COMPOST, 1 PART SAND.
- TOPSOIL SHALL BE AS SPECIFIED WITHIN THE NOTE ABOVE. COMPOST SHALL BE FINELY SCREENED GRADED TO PASS SIEVE AS FOLLOWS:
 -MINIMUM OF 85% BEING 1/4" OR SMALLER (DRY BASIS RESULT).
 -MINIMUM OF 70% BEING 5/32" OR SMALLER (DRY BASIS RESULT).
 -WITH CLUMPS OR PARTICLES 3/4" DIAMETER OR GREATER.
 SAND SHALL BE C33 WASHED CONCRETE SAND, OR APPROVED EQUAL.
- UNLESS OTHERWISE STATED, ALL GRASS/PERENNIAL MASSINGS ARE TO BE EVENLY SPACED IN TRIANGULAR PATTERN ARRANGEMENT
 - PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL), PER MANUFACTURE'S DIRECTIONS, TO ALL PLANTING BEDS.
 - PROVIDE A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL TREE PLANTING BEDS.
 - PROVIDE 2" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL SHRUB/ORNAMENTAL GRASS/PERENNIAL BEDS.
 - PROVIDE ALL TREES WITH A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH. MULCH RINGS FOR TREES SHALL BE A MINIMUM SIX FOOT (6') DIAMETER AND CONTAIN SPADE EDGING AT MULCH RING EDGE.
 - PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. DO NOT ALLOW ADDITION OF TOPSOIL, PLANTING SOIL OR MULCH TO DEFER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.
 - NURSERY TAGS SHALL BE LEFT ON PLANT MATERIAL UNTIL LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE HAS COMPLETED THE INITIAL ACCEPTANCE.
 - CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
 - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
 - AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 1/3 THE PLANT.
 - CONTRACTOR SHALL WATER AND MAINTAIN ALL SEEDED AREAS AS WELL AS ALL PLANTS UNTIL GROUND FREEZES. MAINTENANCE INCLUDES WEEDING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS UNTIL INITIAL ACCEPTANCE. INITIAL ACCEPTANCE IS CONSIDERED TO BE THE DATE AT WHICH PLANTING AND MULCHING, ETC., PER LANDSCAPE PLAN, HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INITIAL ACCEPTANCE.
 - REPLACE ALL PLANT MATERIAL UP TO ONE YEAR OF INITIAL ACCEPTANCE, IN ACCORDANCE WITH LANDSCAPE PLANS. ALL PLANTS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - ALL SEEDING APPLICATION NOTES ARE LISTED SEPARATELY, THIS SHEET. CONTRACTOR SHALL FOLLOW SEED MANUFACTURER'S RECOMMENDED SPECIFICATIONS FOR PRODUCT INFORMATION & INSTALLATION. FOR ALL OTHER LANDSCAPING WORK NOT ADDRESSED VIA MANUFACTURER'S SPECIFICATIONS, CONTRACTOR SHALL FOLLOW THE "CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS" SECTIONS 02900 - SEEDING & 02910 - PLANTS FOR ALL SURFACE RESTORATION AND PLANTING PRACTICES. FOR ANY DISCREPANCIES THAT MAY ARISE, THE PLAN AND NOTES ON THIS SHEET SHALL SUPERSEDE THE METROPOLITAN SPECIFICATIONS.
 - ALL TREES TO BE PLACED WITHIN PARKING LOT ISLANDS ARE TO STRICTLY FOLLOW THE CEDAR RAPIDS METROPOLITAN AREA STANDARD DETAIL '2910-010 STANDARD PLANTING PIT'. FOR SPECIAL USE SITUATIONS WHEN PLACING TREES WITHIN A PARKING LOT WITHOUT A PROTECTIVE ISLAND, THE DETAIL '2910-015 SPECIAL USE PLANTING PIT' SHALL BE USED. SEE CITY DETAIL THIS SHEET.

LANDSCAPE PLAN 01
 SCALE: 1" = 10' (22"x34" FULL SIZE)



ID	QTY	BOTANICAL/COMMON NAME	MIN. SIZE	ROOT	SPACING	NOTES
DECIDUOUS TREES						
QP	1	Quercus coccinea SCARLET OAK	2 1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
ZS	1	Zelkova serrata 'Green View' JAPANESE ZELKOVA	2 1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
GT	1	Gleditsia triacanthos f. inermis 'Skycole' SKYLINE HONEYLOCUST	2 1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
ORNAMENTAL TREE						
OC	2	Cercis canadensis 'Northern Strain' RED BUD	1-1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
SHRUBS						
JXP	21	Juniperus x pfitzeriana 'Kilsky's Compact' JUNIPER	3 GAL	CONTAINER	4' O.C.	NURSERY MATCHED, QUALITY SPECIMEN
AMM	9	Aronia melanocarpa 'Morton (Troquois Beauty)' BLACK CHOKEBERRY	3 GAL	CONTAINER	4' O.C.	NURSERY MATCHED, QUALITY SPECIMEN
CAS	11	Cornus alba 'Sibirica' TATARIAN DOGWOOD	3 GAL	CONTAINER	6' O.C.	NURSERY MATCHED, QUALITY SPECIMEN

PLANT SCHEDULE & PLAN ID KEY 04
 NOT TO SCALE C6.0

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DATE: 12/23/14					
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FRONT ELEVATION

SKY'S EDGE

3 - PLEX



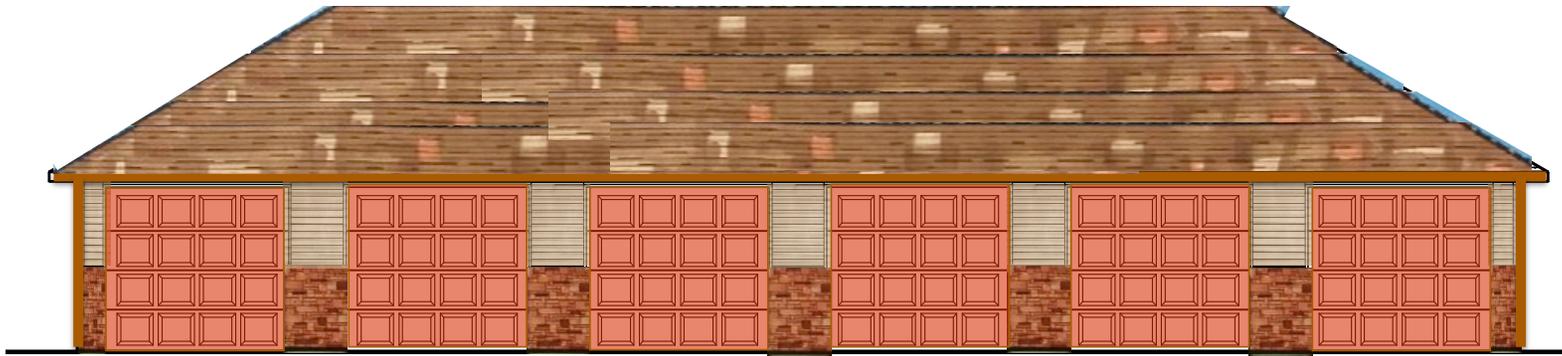
South Elevation



North Elevation



West Elevation



Garage Front Elevation



Garage Side Elevation



Garage Rear Elevation