



AGENDA
CITY PLANNING COMMISSION MEETING
Thursday, February 18, 2016 @ 3:00 PM
City Hall Council Chambers
101 First Street SE, Cedar Rapids, IA 52401

Call Meeting to Order

Roll Call

- A. Approval of the Minutes**
- B. Adoption of the Agenda**
- C. Action Items**

1. Case Name: 551 West Side Place SW (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a I-1, Light Industrial Zone District as requested by West Side Property 103 LLC (Applicant/Titleholder)
Case No. PSDP-021285-2015; Case Manager: Johnny Alcivar

2. Case Name: 4350 16th Avenue SW (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a C-3, Regional Commercial Zone District as requested by Casey's Marketing Company (Applicant) and JAY Holdings LC (Titleholder)
Case No. PSDP-022264-2015; Case Manager: Chris Strecker

3. Case Name: Gardenview Third Addition (Major Preliminary Plat)

Consideration of a Major Preliminary Plat in R-2, Single Family Residence Zone District as requested by Gardenview, Inc. (Applicant/Titleholder)
Case No. PRPT-022397-2015; Case Manager: Chris Strecker

4. Case Name: Williams Boulevard SW (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a C-3, Regional Commercial Zone District as requested by Unity Point Health (Applicant) and Menards, Inc. (Titleholder)
Case No. PSDP-022448-2016; Case Manager: Chris Strecker

New Business

**MINUTES OF
CITY PLANNING COMMISSION MEETING,
Thursday, January 28, 2016 @ 3:00 p.m.**

Cedar Rapids City Hall Council Chambers, 101 First Street SE

Members Present: Jim Halverson, Chair
Richard Pankey, Vice Chair
Carletta Knox-Seymour
Virginia Wilts
Samantha Dahlby
Kim King
Dominique Blank
Anthony Brown
Bill Hunse

DSD Staff: Joe Mailander, Manager
Vern Zakostelecky, Zoning Administrator
Dave Houg, Plats & Zoning Conditions Coordinator
Johnny Alcivar, Development Services Specialist

CD Staff: Seth Gunnerson, Planner
Jeff Hintz, Planner
Jennifer Pratt, Director
William Micheel, Assistant Director
Betty Sheets, Administrative Assistant

City Council Liaison: Justin Shields

Call Meeting to Order

The meeting was called to order at 3:00 p.m.

Opening statements were presented stating the protocol of the meeting and the purpose of the City Planning Commission.

Roll Call

Roll call was answered with nine (9) Commissioners present.

A. Approval of the Minutes

Commissioner Halverson called for any additions or corrections to the minutes. Commissioner Halverson stated with no additions or corrections, the January 7, 2016 Minutes stand approved.

B. Adoption of the Agenda

Commissioner Halverson called for any additions or corrections to the amended agenda. Commissioner Halverson stated that Case No. 3 and Case No. 4 would be moved to the top of the amended agenda stands approved.

C. Action Items

1. Case Name: 510 5th Street SE (Conditional Use)

Consideration of a Conditional Use Request for Day Care Center in an R-3D, Two Family Residence Zone District as requested by Dawn Stephens (Applicant) and St. Wenceslaus Catholic Church (Titleholder)

Case No: COND-022379-2015; Case Manager: Dave Houg

Mr. Houg presented the criteria for recommendation and action on a Conditional Use. Mr. Houg stated this was a request for a day care. The property consists of a single parcel containing a church, rectory and community center. The applicant is requesting a conditional use to allow a Day Care Center to operate from the community center. There are no proposed changes to the external site layout. Mr. Houg presented General Information, Zoning Map, Aerial View, Site Plan, and Street View and stated that if approved this case would go before the Board of Adjustments on February 8, 2016.

Commissioner Halverson called for questions of Mr. Houg. No questions were presented.

Commissioner Halverson called for a representative of the applicant.

Dawn Stephens, representing the Oak Hill Jackson Neighborhood Association, 1230 5th Street SE appeared.

Commissioner Halverson called for questions of the applicant.

Commissioner Blank asked if there would be an outdoor play area. Ms. Stephens stated that Sinclair Park is located next door. Commissioner Brown asked if the park would be fenced. Ms. Stephens stated the park is fenced.

Commissioner Dahlby asked if changes need to be made for flood mitigation. Ms. Stephens said the church has complied with all flood mitigation standards, the Fire Marshall and Zoning said they cannot do anything in the basement of this property.

Commissioner Knox-Seymour asked how many children they planned to have in the day care. Ms. Stephens stated there would be a maximum of 20 children and has 14 currently. Ms. Stephens said she currently has two staff members and parental volunteering.

Commissioner Hunse asked if ADA standards were met. Ms. Stephens stated that they were. Commissioner Hunse stated that he would like to go on the record noting that there are different construction types for buildings serving as a classroom versus day care and asked if the building had been occupied in the past year. Mr. Houg stated that this building is classified as a community center and will not be classified as a change of use.

Commissioner Halverson called for members of the public who wished to speak. No members of the public wished to speak.

Commissioner Halverson called for a motion. Commissioner Pankey made a motion to approve the Conditional Use Request for Day Care Center in an R-3D, Two Family Residence Zone District. Commissioner Dahlby seconded the motion.

Commissioner Halverson called for discussion on the motion. No further discussion.

Commissioner Halverson called for a vote on the motion. The motion passed unanimously with none opposed.

2. Case Name: 3321 and 3415 J Street SW (Conditional Use)

Consideration of a Conditional Use Request for a Contractor's Shop with an Outdoor Storage Area in a C-3, Regional Commercial Zone District as requested by High Properties (Applicant) and Paul Daniel Pate (Titleholder)

Case No: COND-022403-2015; Case Manager: Dave Houg

Mr. Houg stated that this property consists of two undeveloped parcels. The applicant is requesting conditional use approval to construct a contractor's shop with associated outdoor storage under an acre in size. Mr. Houg presented General Information, Aerial View, Site Plan, Elevation, Street View from J Street, Street SW, View from 33rd Avenue SW, Topography. Mr. Houg further stated that if approved, this Conditional Use request would be heard by the Board of Adjustments on February 8, 2016.

Commissioner Halverson called for questions of Mr. Houg.

Commissioner Knox-Seymour asked if there was another storage facility that we heard before. Mr. Mailander stated that there was one near J Street and 33 about a year and half ago.

Mr. Houg stated that one objector had called that lives along 33rd and stated that there was a lot of crime along J Street and would not like to see more development.

Commissioner Knox-Seymour asked again if there would be two storage facilities in the area.

Mr. Mailander stated that there was a request for a storage facility at J Street and 33rd Avenue from a different applicant. Mr. Mailander further stated that this is not a storage facility but High Properties using this as their maintenance shop and not rental facility.

Commissioner Hunse asked where the trash enclosure was located. Mr. Houg stated it is not a requirement to have a dumpster on site. Commissioner Hunse asked if it was 100% recycle. Commissioner Hunse asked about parking. Mr. Houg suggested the applicant could answer these questions.

Commissioner Halverson called for a representative of the applicant.

Darryl High, 5471 C Street SW appeared.

Commissioner Halverson called for questions of the applicant.

Commissioner Hunse asked where the trash enclosure was located. Mr. High stated that it would be behind the fenced in area of the yard. Commissioner Hunse asked if it was private pick up. Mr. High stated that it was. Commissioner Hunse asked if it was a self-imposed hardship to let them in. Mr. High stated that they would be there to let the private trash company in to pick up the trash.

Commissioner Blank asked what kind of fencing was going to be installed. Mr. High stated that it would be privacy fencing.

Commissioner Halverson called for members of the public who wished to speak. No members of the public wished to speak.

Commissioner Hunse asked if there was no requirement for trash and they put it behind the fence, what is the ordinance relative to screening trash? Mr. Houg stated the fence would screen it from view of the street.

Commissioner Halverson called for a motion. Commissioner Brown made a motion to approve the Conditional Use request for a Contractor's Shop with Outdoor Storage Area in a C-3, Regional Commercial Zone District. Commissioner Blank seconded the motion.

Commissioner Halverson called for discussion on the motion. No further discussion.

Commissioner Halverson called for a vote on the motion. The motion passed unanimously with none opposed.

3. Case Name: North of Highway 30, East of Union Drive SW and Hay Field Drive SW (Rezoning) and College Farms Fourth Addition (Major Preliminary Plat)

- a. Consideration of a change of zone from A, Agriculture Zone District to R-2, Single Family Residence Zone District as requested by College Farms, LLC (Applicant/Titleholder)

Case No. RZNE-022288-2015; Case Manager: Joe Mailander

- b. Consideration of a Major Preliminary Plat in R-2, Single Family Residence Zone District as requested by College Farms, LLC (Applicant/Titleholder)

Case No. PRPT-022277-2015; Case Manager: Joe Mailander

Mr. Mailander presented the criteria for Rezoning and Preliminary Plat request. Mr. Mailander stated this property was annexed into the City of Cedar Rapids in 2014 and this request is to allow for the platting and future construction of 33 single-family residential lots on 24.2 acres. If approved, this rezoning would be an extension of the College Farms housing development to the west. Since this is a request for rezoning for single-family homes, no site plan is required at this time. Detailed site plans will be submitted on a lot by lot basis at the time of application for

building permits. A preliminary plat has been submitted for City Planning Commission review. Approval of the plat will be contingent upon future City Council approval of the rezoning request. Mr. Mailander presented a Zoning Map, Location Map, Aerial Exhibit, Preliminary Plat, and Master Plan and stated that the rezoning would go to City Council setting a public hearing on February 9, 2016 with the public hearing on February 23, 2016.

Commissioner Halverson called for questions of Mr. Mailander.

Commissioner Dahlby asked if Mr. Mailander would elaborate on what the developer and the City were doing to alleviate the concerns the neighbors had the first time it came before the Commission. Mr. Mailander stated there were three primary concerns: sanitary sewer capacity of a privately owned lift station, water pressure in homes and access to Highway 30. Mr. Mailander went on to explain that in the interim the City implemented a plan to study all the existing privately owned lift stations in town and adopted a policy that the City would take them over as public ownership by 2017. In addition there is a condition that the applicant would only be allowed 14 building permits prior to that sanitary sewer lift station and that 14 would get it up to that capacity of 108 lots. Mr. Mailander stated concerning the water pressure, the city is planning to replace the water tank that feeds this area for reconstruction in the next three years, which will improve the pressure. Regarding the access to Highway 30, it is an existing issue and there is only one access to Highway 30. The Traffic Engineering Department does not warrant adding an acceleration lane.

Commissioner Dahlby asked for clarification on the lift station. Would the replacement handle the existing houses or existing plus the additional 14 homes? Mr. Mailander stated that it would handle the existing as well as the additional 14 homes. The long term solution is to extend gravity sewer. The lift station is a permanent solution for this number of homes. There would be some upcharge of user fees to homeowners.

Commissioner Dahlby asked regarding the traffic if there was any way that they will spearhead a solution before there are more problems. Mr. Mailander stated the City does not have a project funded for that but it would have to be at the residence's request to do so and thus a citizen funded project.

Commissioner Hulse asked if it is proposed that fire hydrant lines be connected to the domestic water lines. Mr. Mailander stated there is a separate fire service and they all meet minimum pressures.

Commissioner Blank asked where the booster pumps would be located. Mr. Mailander answered they would only be installed if the water is under 45 psi and is part of the homeowner cost.

Commissioner Hulse asked if the booster pumps were in-line pressure. Mr. Mailander said he would defer to the applicant to answer this.

Commissioner Halverson called for a representative of the applicant.

Loren Hoffman, Hall & Hall Engineers, 1860 Boyson Road, Hiawatha stated in the middle of November they had a neighborhood meeting. He was aware that pressure was a concern for lawn irrigation systems." As far as Highway 30, there is a potential for 4 other streets that will provide connectivity.

Commissioner Halverson asked on behalf of Commissioner Hunse how mechanically the booster pumps function.

Commission Hunse stated the booster pump function was a low impact deal.

Commissioner Halverson called for members of the public who wished to speak.

Jeremy Brigham, 5102 Cotton Court SW stated the concerns were that the lift station was expensive to repair and was still concerned about it breaking down. If there was a peak flow it would not be adequate. Mr. Brigham also said the access to Highway 30 was another concern. Another access would be nice but also very expensive. These issues should be resolved before the additional homes are built.

Kelly Lind-Deufeldt, 4914 Harvest Court SW suggested that the City take over the lift station first. These are primary concerns and then have the additional homes built.

Commissioner Pankey asked if there was a timeline for the City taking over the lift station. Mr. Mailander stated that the City was looking at taking it over by 2017.

Commissioner Pankey said that it had the capacity for an additional 14 homes. Originally designed for 108 homes and right now it has 94 homes and this 14 would get us to those 108 homes. Commissioner Pankey said that the people living in the area have a heightened awareness of the traffic as well as in other highways in the area.

Commission Knox-Seymour asked when the developer would start construction. Mr. Mailander said the developer would like to begin the infrastructure soon but that the homes would not all be built sooner than 2017.

Commissioner Blank confirmed that the fire line is on a separate access line, and if there was a concern that the Fire Department would not have enough pressure? Mr. Mailander stated that during final engineering a booster would be provided. Fire trucks have booster on the trucks also.

Mr. Hoffman stated that the applicant has agreed to construct only 14 additional lots and it was agreed that there is capacity for the additional 14 homes.

Commissioner Halverson called for a motion. Commissioner Pankey made a motion to approve the change of zone from A, Agriculture Zone District to R-2, Single Family Residence Zone District. Commissioner Wilts seconded the motion.

Commissioner Halverson called for discussion on the motion.

Commissioner Knox-Seymour asked what would be done about the access to Highway 30. Mr. Mailander stated there is no acceleration lane warranted. Commissioner Knox-Seymour stated that we need to be more proactive on the safety of this situation as well as future projects.

Commissioner Dahlby asked if it had to be a priority on Iowa DOT funding list and if there was a City funded project with the recommendation from the City engineer.

Commissioner Brown confirmed that 14 additional homes for this project would be fine for the lift station.

Mr. Brigham stated that he had looked into the acceleration lane on Highway 30 and did not feel it was a good idea. Mr. Brigham suggested that lowering the speed limit was a better idea.

Commissioner Dahlby stated that the last time we saw this project, she was opposed to this and she continues to oppose the project. Commissioner Dahlby stated that the cost for the City to improve the quality of water is too great and also feels that this area of the City is not a high priority, the improvements are not complete and we are not ready for development in this area.

Commissioner Hunse noted that the roads are responsive to the topography, which is good engineering practice. Commissioner Hunse further stated that being the case, the yielding lots are going to be what we get regardless of phasing and the impact is going to be what we see in front of us. Mr. Mailander said the area is steep and not a lot of additional homes will be added.

Commissioner Halverson stated the motion is a change of zone and is contingent of the update to the Future Land Use Map Amendment.

Commissioner Halverson called for a vote on the motion. The motion passed with one opposed.

Commissioner Halverson called for a motion for the Major Preliminary Plat. Commissioner Pankey made a motion to approve the Major Preliminary Plat in R-2, Single Family Residence Zone District. Commissioner Brown seconded the motion.

Commissioner Halverson called for discussion on the motion. No further discussion.

Commissioner Halverson called for a vote on the motion. The motion passed with one opposed.

4. Case Name: Williams Boulevard SW and US Highway 30 (Rezoning with a Preliminary Site Plan)

Consideration of a change of zone from R-2, Single Family Residence Zone District to RMF-1, Multiple Family Residence Zone District with a Preliminary Site Plan as requested by Robson Homes, Inc. (Applicant/Titleholder)

Case No. RZNE-022319-2015; Case Manager: Joe Mailander

Mr. Mailander presented the criteria for a Rezoning with a Preliminary Site Plan. Mr. Mailander stated the applicant is requesting rezoning from R-2, Single Family Residence Zone District to RMF-1, Multiple Family Residence Zone District to allow for the development of 129 townhome style residential units. The proposed development is located between US Hwy 151 and West Post Road SW just south of US Hwy 30. The proposed development is within Cedar Rapids City limits, adjacent to Linn County property. Access to the site is proposed to be along West Post Road SW with a connection to Tarp Drive and a stub street to a future connection with Julie Lane and to US Highway 151. Mr. Mailander presented a Location Map, Future Land Use Map, Zoning Map, Preliminary Site Plan as well as renderings of 3-Plex and 4-Plex housing.

Commissioner Halverson called for questions of Mr. Mailander.

Commissioner Hunse asked if there was any off the ground, exterior use. Mr. Mailander said this had a front door access and back door access. Commissioner Hunse asked if there were balconies. Mr. Mailander deferred to the applicant.

Commissioner Blank asked if the development falls under the new requirement to leave the top soil. Mr. Mailander stated that it was presented to the Council Infrastructure Committee and the City could possibly have something in place by January 1, 2017.

Commissioner Dahlby stated that there are no roads having access to the site that meet the City standards. Mr. Mailander said the site is accessed through Julie, Tapy and West Post Roads, none of which meet the City standards but one requirement is the improvement of West Post.

Commissioner Dahlby noted the developer will improve West Post Road, but who will maintain it? Mr. Mailander stated half is maintained by City and half by the County.

Commissioner Hunse asked about one way north bound Chacane. Mr. Mailander said the developer was proposing this as an alternative access.

Commissioner Knox-Seymour asked if this was getting over crowded in the area, referring to the density of population. Mr. Mailander stated this would be an increase in density to 9 units per acre. Commissioner Knox-Seymour asked if this was market driven. Mr. Mailander stated that there is a demand in the College Community School District.

Commissioner Hunse stated that having single-family residence was probably undesirable.

Commissioner Dahlby asked if the Fire Department is concerned about this project. Mr. Mailander stated that there are two fire stations that are 4 miles away, however, they have not objected to the response time.

Commissioner Blank asked about the annexation. Mr. Mailander said the City is in discussions to annex some of the property nearby. Commissioner Blank asked about annexation of the existing neighborhood. Mr. Mailander said that was not entertained.

Commissioner Brown stated that area is super busy and would the project be built before or after Williams Boulevard will go to two lanes? Mr. Mailander stated the Iowa DOT was asking for that additional lane to be added which was driving up the cost of the project.

Commissioner Brown considers this way too dense for the area and suggested he would like to see a different type of less dense proposal with green space. Commissioner Brown asked how the trail would be incorporated. Mr. Mailander stated that the developer was asked to dedicate a portion of the property to the City for future trail.

Commissioner Dahlby asked if the easement accounts for a second lane on Highway 151 or does it encroach on the trail? Mr. Mailander answered at this time there is no plan for further right-of-way acquisition.

Commissioner Hunse asked for an amendment of the units that are immediately contiguous to the single-family homes. They should not have balconies that look into the back yard of the single-family homes.

Commissioner Blank asked if we are in compliance with EnvisionCR's provisions for a gradual transition in density from the county residences. Mr. Mailander stated this is a fairly rapid transition to higher density. Commissioner Blank asked if this was City land would that be acceptable. Mr. Mailander said we are not treating the County neighborhood any different than if that were City property.

Commissioner Halverson stated rural development will always be less dense and if looking at the least dense single-family development, it would be less dense. Commissioner Halverson further stated that there is a substantial off site cost such as the lane to Williams Boulevard. It is not atypical to see higher density development.

Commissioner Halverson called for a representative of the applicant.

Todd Happel, Anderson-Bogert Engineers, 3216 Falcon View highlighted 129 owner occupied family units, managed by HOA, price point between \$140,000-\$200,000, variation of colors, stone work, exterior deck on main level or optional sunroom on main level, meets all the landscaping, provide additional screening, connectivity to the neighborhood, does provide a good buffer to the neighborhood to south, adequate parking, significant development cost to include a 12" main across Highway 151 to provide proper water; bring sanitary sewer up from Beverly Road, extensive comments with Linn County secondary roads and the Developer is updating West Post Road, this development will be seal coated; construction traffic will be split both on West Post Road and Robson's driveway; and provides additional housing in a stagnant market and had a neighborhood meeting in December.

Commissioner Pankey asked if based on neighborhood meeting, were you able to modify the plan to satisfy the neighbors. Mr. Happel said that yes with respect to access and traffic volumes in the neighborhood. Mr. Happel stated that the developer would prefer not to tie into Julie and willing to build the roadway to the west end of his property. Anderson-Bogert did a concept plan for Iowa DOT and the City and that the Iowa DOT does require an extra lane north bound.

Commissioner Blank asked Mr. Happel to speak about drainage from families living downhill and speak to the capacity of the water retention basins. Mr. Happel said the developer is providing two detention sites on the property. The stormwater will be designed for quantity and quality.

Commissioner Brown asked if it was possible to shut both county roads (Julie and Tarp) except for West Post Road so the access can only be down to Beverly. Mr. Happel said that the developer would be in agreement, however the City has connectivity requirements.

Commissioner Halverson called for members of the public who wished to speak.

Joannie West, 3810 Tarp Drive SW, James West, 3810 Tarp Drive SW, John Zlatohlavek, 3810 Julie Lane SW, Don Lacy, 4760 Everlon Road SW, Terese Beck, 3730 West Post Road SW, Tyler Jimtz, 5225 Beverly Road SW, Robert Fassler, 4001 Tarp Drive SW, Cecilia Neis, 6401 Beverly Road SW, Robert Beck, 3730 West Post Road SW, and John Neuhaus, 5702 Beverly Road SW expressed the following concerns:

Direct Access to Williams Boulevard

Access for Emergency vehicles
Traffic Problems
Local traffic only
Safety Issues
Hazard to pedestrian
Too dense to be in harmony with the existing neighborhood
City property with no City roads
Closing of Highway 151
Repair to West Post Road paid for by owners
Water drains onto West Post Road
No bus service
Build the Infrastructure First
Concern about Rental properties
Quality of life issue
West Post Road Repair only, not Tarp or Julie
Unable to walk Beverly Road because it is broken down/heavy traffic

Commissioner Halverson asked the engineer and developer to return to the podium to respond to direct access to Highway 151 and stormwater management plans.

Mr. Happel said there is a preliminary grading plan that will relieve the pressure of the water going to the east because of the detention basin proposed. Water will be run under Highway 151. Mr. Happel said a concept plan has been done to signalize Highway 151; the City will be applying for a grant to Iowa DOT. Bridges will be replaced. Discussions were being held with Linn County to reseal West Post Road which is a joint jurisdiction road. Exit mostly West Post Road with some coming out on Tarp and then possibly Julie as the project builds out. Construction will be started on the West Post Road side.

Commissioner Hulse asked if the only thing driving the connection to 151 is this development. Will that intersection serve any other existing property? Mr. Happel said 6 properties would use that road. Commissioner Hulse said it was otherwise a good and appropriate project for this area. Commissioner Hulse further stated Cedar Rapids doesn't have any streets to serve the site. Commissioner Hulse requested applicant or staff how this can be conditioned so that we don't close on property until Highway 151 is secure and critical. Commissioner Hulse stated that who does what and how we do it but should not be price the neighbors have to pay. Commissioner Hulse further stated Cedar Rapids roads should service Cedar Rapids developments.

Commissioner Brown the county expansion of Beverly Road what the timeline looks like and the tying into the new neighborhood. Happel City and county are in discussion about Beverly Road.

Commissioner Blank asked about 2002 density concerns at 61 single-family homes. Mr. Mailander said the vote was 4-3 and the concern was the density. It was approved by City Council however; the Preliminary Plat was tabled by unanimous vote.

Commissioner Halverson asked what kind of road improvements would materialize before the project begins. Mr. Halverson further stated that perhaps the roads will be urbanized before construction begins. Give us an overview of timing that would happen. It has been stated that construction would begin on east side and transition toward west. Would there be improvements

with West Post Road and Beverly Road prior to development occurring/development of the site? Mr. Happel stated no, other than seal coating of West Post Road.

Commissioner Pankey stated with respect to the density, rapid development, at what point does it become feasible to have 7 units per acre?

Joe Robson, 5901 Williams Boulevard SW wanted to share history, neighbors of everyone and a lot has changed. West Post Road was major hub to get to their neighborhood from Williams Boulevard when the property was annexed into the City. He will upgrade the road and build a beautiful development. Mr. Happel stated the utility and roadway expense was what drove the higher density that is required to cover the expense.

Commissioner Pankey stated that it would be a unique and nice neighborhood and there is always resistance when projects are developed into an established neighborhood but we appreciate that you would step up and make this happen. Commissioner Pankey stated that he does hear the concerns but would support the motion.

Commissioner Halverson called for a motion. Commissioner Pankey made a motion to approve the change of zone from R-2, Single Family Residence Zone District to RMF-1, Multiple Family Residence Zone District with a Preliminary Site Plan. Commissioner Hunse seconded the motion.

Commissioner Hunse asked what kind of push Cedar Rapids can give to the County or State to get this connection out there realistically and practically. Five years still waiting what will cause this to happen congruent with this development? Mr. Mailander stated that funding is the concern. There are many competing interests for that road improvement.

Mr. Happel stated that Iowa DOT is completing a study from Highway 30 to the south edge of Fairfax to Highway 151.

Commissioner Hunse said access to Highway 151 is the only thing that is keeping me from approving this project.

Commissioner Brown said realistically this is too dense, however as long as there is a connection to Highway 151 and not just West Post Road to Beverly and back out.

Commissioner Hunse asked if there was a way this could be approved so that it doesn't have to be back here contingent to, wants them to move forward but wants drop dead certainty of access to Highway 151.

Commissioner Halverson stated that based on all the discussion, perhaps it would be best to table the motion.

Commissioner Pankey made a motion to withdraw his motion to approve and made a motion to table the change of zone from R-2, Single Family Residence Zone District to RMF-1, Multiple Family Residence Zone District with a Preliminary Site Plan for further discussion. Commissioner King seconded the motion.

Commissioner Halverson called for discussion on the motion.

Commissioner Blank asked if we needed to identify a few main points that we are tabling it for. Mr. Mailander stated that they probably had a good idea what the concerns were.

Commissioner Hunse stated on principle he would vote against the motion because the developer deserved to move forward from here and was not sure that tabling does that except that you heard the intentions here so it depends on how confident you are with what you heard here.

Commissioner Halverson called for a vote on the motion. The motion passed with one opposed.

New Business

- a. Consideration of a recommendation of EnvisionCR 2016 Initiatives Update Report to City Council **(Tabled from January 7, 2016 Meeting)**
Planner: Adam Lindenlaub

Mr. Lindenlaub stated that based on recommendations from the last City Planning Commission Meeting, many changes were made based on suggestions by members of the Commission.

Commissioner Hunse left the meeting at 5:52 pm

Upon City Planning Commission recommendation, this report will go to City Council for their approval on February 23, 2016.

Commissioner Halverson called for a motion. Commissioner Dahlby made a motion to approve recommendation of EnvisionCR 2016 Initiatives Update Report to City Council. Commissioner Wilts seconded the motion.

Commissioner Halverson called for discussion on the motion. No further discussion.

Commissioner Halverson called for a vote on the motion. The motion passed unanimously with none opposed.

- b. Community Development staff is recommending two land use actions related to the flood control system:
 - Consideration of amending Chapter 32 of the Municipal Code, the Zoning Ordinance to rezone publicly owned property in close proximity to the flood control system footprint on both sides of the river to Public Zone District (PUB)
 - Consideration of amending Chapter 32 of the Municipal Code, the Zoning Ordinance to expand the Northwest Flood Overlay District.**Planner: Bill Micheel**

Mr. Micheel stated that Community Development staff is recommending two land use actions related to the flood control system:

- Rezoning of publicly owned property in close proximity to the flood control system footprint on both sides of the river to Public Zone District (PUB); and
- Expansion of the Northwest Flood Overlay District on the west side of the river.

The purpose of these two actions is to:

- Apply the appropriate zoning designation to publicly owned property for the future land uses of flood control and parks and open space for the Greenway project; and
- Based on the adopted final alignment of the flood control system, expand the Northwest Overlay District to include all property included in the mandatory buyout area.

On December 16, 2015, the City Council Development Committee reviewed the changes and recommended that staff initiate the land development process to rezone publically owned property in close proximity to the flood control system footprint and expand the Northwest Flood Overlay District.

Commissioner Halverson called for questions of Mr. Houg. No questions were presented.

Commissioner Halverson called for a motion. Commissioner Dahlby made a motion to approve amending Chapter 32 of the Municipal Code, the Zoning Ordinance to rezone publically owned property in close proximity to the flood control system footprint on both sides of the river to Public Zone District (PUB). Commissioner Knox-Seymour seconded the motion.

Commissioner Halverson called for a motion. Commissioner King made a motion to approve amending Chapter 32 of the Municipal Code, the Zoning Ordinance to expand the Northwest Flood Overlay District. Commissioner Blank seconded the motion.

Commissioner Halverson called for discussion on the motion. No further discussion.

Commissioner Halverson called for a vote on the motion. The motion passed unanimously with none opposed.

c. Training

Mr. Micheel recommended that City Planning Commission Members take advantage of the Planning and Zoning workshop that will be conducted by Iowa State University Extension & Outreach on Wednesday, April 6, 2016 here in Cedar Rapids at the Clarion Hotel and Convention Center. Betty Sheets will make the reservations and members should let her know by end of February if they plan to attend.

The meeting was adjourned at 6:04 PM

Respectfully Submitted,

Betty Sheets, Administrative Assistant
Community Development and Planning Department



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5132

STAFF REPORT TO CITY PLANNING COMMISSION
Preliminary Site Development Plan

CPC Date: February 18, 2016

To: City Planning Commission
From: Development Services Department

Applicant: West Side Property 103 LLC
Titleholder: West Side Property 103 LLC

Location: 551 West Side Place SW
Request: Consideration of a Preliminary Site Development Plan in a I-1, Light Industrial Zone District

Case Manager: Johnny Alcivar, Development Services Specialist
Case Number: PSDP-021285-2015

BACKGROUND INFORMATION:

The property is currently agricultural land. The applicant is applying for Preliminary Site Development Plan approval to construct a 3-story 60,000 s.f. office building (20,000 per floor) and a 30,000 s.f. maintenance building. If approved, an Administrative Site Development plan will need to be submitted for review by Development Services Department.

The proposed uses and development are consistent with the intent and purposes of EnvisionCR, the Comprehensive Plan. The proposed development area is shown as “Urban Medium-Intensity” on the Future Land Use Map in the Comprehensive Plan. The development will also comply with all other applicable codes, regulations and approvals.

The Preliminary Site Development Plan submitted includes the following proposed improvements:

- Total site area – 27.31 acres
- Proposed building size – Office building 60,000 s.f. and maintenance building 30,000 s.f.
- Total parking required – 4 spaces per 1,000 s.f. for office space and 1 space per 500 s.f. for heavy equipment repair – 300
- Total parking provided – 433
- Existing open space – 89.9% of total area
- Proposed open space – 31.9% of total area

FINDINGS:

Section 32.02.030.G.7. of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. The Site Development Plan is consistent with the previously approved Preliminary Plans for the property (if applicable)**

Staff comments: Not applicable, as there are no previously approved site plans for this site.

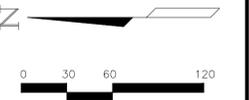
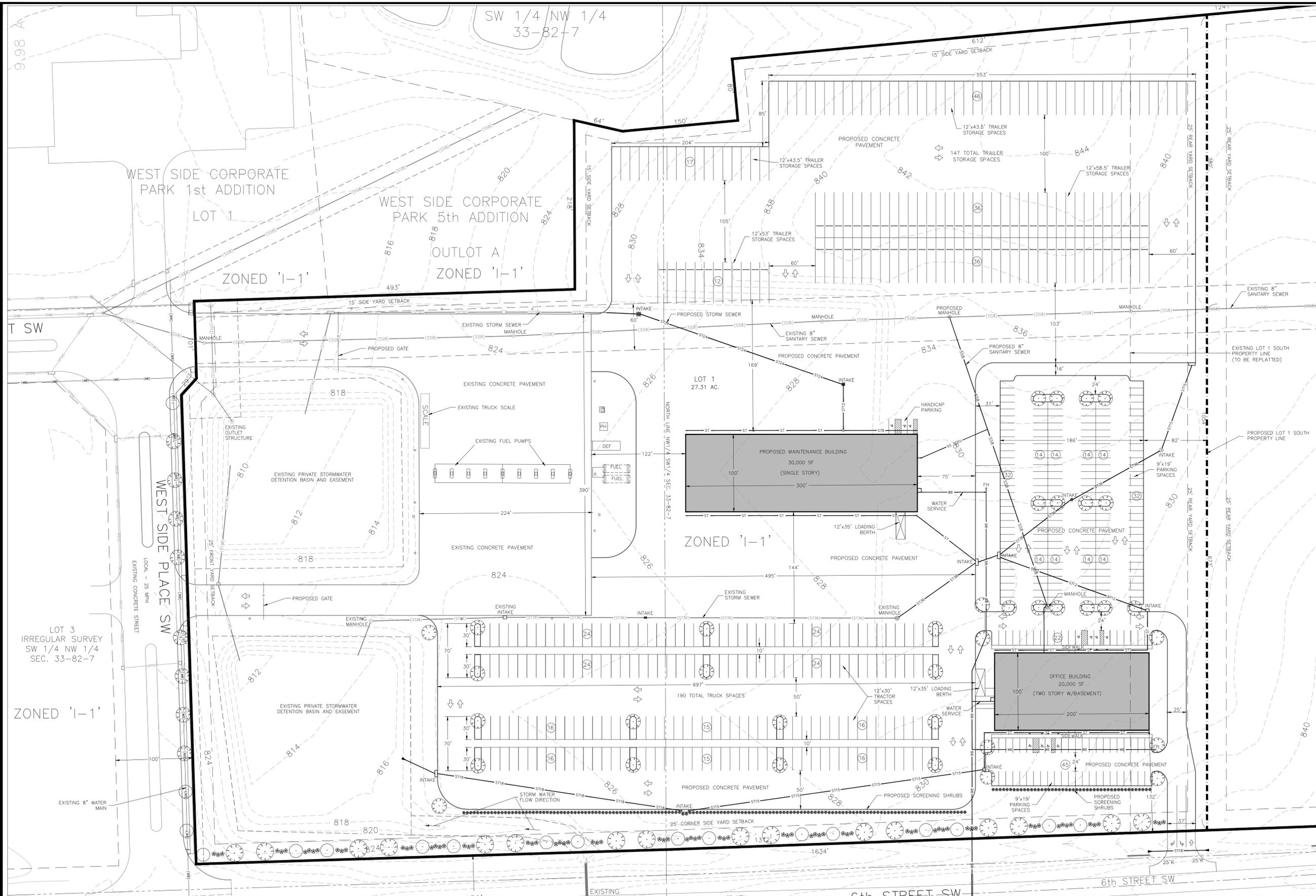
- 2. The Site Development Plan conforms to all applicable requirements of this Ordinance.**

Staff comments: The site development plan conforms to all applicable requirements of the City's Zoning Ordinance and other applicable codes and regulations provided the conditions proposed by City staff are complied with.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed Preliminary Site Development Plan, adoption of the following conditions as recommended by Development Services should be considered. The City Planning Commission may approve with additional conditions.

1. Subject property shall be platted per State and City platting regulations.



Project No. 252915-10	Drawn: DLS	Book:
	Checked:	Scale: 1" = 60'
	Reviewed:	

NO.	REVISION DESCRIPTION	BY	DATE



WEST SIDE UNLIMITED CAMPUS
CEDAR RAPIDS, IOWA

LOT 1 DEVELOPMENT AREA

SHEET
3



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5820

STAFF REPORT TO CITY PLANNING COMMISSION
Preliminary Site Development Plan

CPC Date: February 18, 2016

To: City Planning Commission
From: Development Services Department

Applicant: Casey's Marketing Company
Titleholder: J A Y Holdings LC

Location: 4350 16th Avenue SW
Request: Consideration of Preliminary Site Development Plan in a C-3, Regional Commercial Zone District

Case Manager: Chris Strecker, PE, Civil Engineer
Case Number: PSDP-022264-2015

BACKGROUND INFORMATION:

The property is currently vacant land. The applicant is applying for Preliminary Site Development Plan approval to construct a 4,069 s.f. convenience store. An Administrative Site Plan will be reviewed as part of City process.

The proposed uses and development are consistent with the intent and purposes of EnvisionCR, the Comprehensive Plan. The proposed development area is shown as "Urban High Intensity" on the Future Land Use Map in the Comprehensive Plan. The development will also comply with all other applicable codes, regulations and approvals.

The Preliminary Site Development Plan submitted includes the following proposed improvements:

- Total site area – 1.77 acres
- Proposed building size – 4,069 s.f.
- Total parking required - 6 space per 1,000 g.f.a. = 24 total spaces
- Total parking provided - 32 spaces + 16 service points
- Existing open space - 100% of total area
- Proposed open space - 44 % of total area

FINDINGS:

Section 32.02.030.C.5.e of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

1. The Site Development Plan is consistent with the previously approved Preliminary Plans for the property (if applicable)

Staff comments: There are no previously approved site plans for this property. The property is undeveloped land.

2. The Site Development Plan conforms to all applicable requirements of this Ordinance.

Staff comments: The site development plan conforms to all applicable requirements of the City's Zoning Ordinance and other applicable codes and regulations provided the conditions proposed by City staff are complied with.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed Preliminary Site Development Plan, adoption of the following conditions as recommended by Development Services should be considered. The City Planning Commission may approve with additional conditions.

1. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, the property owner shall be responsible to submit to the City a signed Agreement for Private Storm Water Detention.

SITE IMPROVEMENTS

FOR

CASEY'S GENERAL STORES

NE CORNER SW 16TH STREET & JACOLYN DRIVE

CEDAR RAPIDS, IOWA



VICINITY SKETCH

PROPERTY ZONING: C-3 REGIONAL COMMERCIAL ZONE DISTRICT

BUILDINGS:
PROPOSED CASEY'S GENERAL STORE ~ 3,268 sq.ft.

PAVING:
THE APPROACH SHALL BE 7" THICK P.C.C.
THE PARKING LOT SHALL BE 6" THICK P.C.C.

FLOODPLAIN
THE SITE IS LOCATED OUTSIDE THE FEMA 100 YEAR FLOOD ZONE.

GENERAL NOTES:

- 1 ALL TRASH AND RECYCLING SHALL BE CONTAINED IN THE OUTDOOR DUMPSTER/RECYCLE AREA.
- 2 WALL PACK LIGHTING SHALL BE SHARP CUT-OFF.
- 3 HANDICAPPED PARKING STALLS & SIGNS SHALL BE PROVIDED PURSUANT TO THE STATE CODE.
- 4 ANY DIRT OR CONSTRUCTION DEBRIS SPILLED ONTO ADJACENT PROPERTIES OR RIGHT OF WAYS SHALL BE PROMPTLY REMOVED.

SIGN:
PROPOSED PYLON SIGN AT SOUTHWEST CORNER OF PROPERTY.

DISTURBED AREAS:
ALL DISTURBED AREAS SHALL BE SODDED.
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRES, THEREFORE A NPDES PERMIT IS REQUIRED.

DEVELOPER:
CASEY'S MARKETING COMPANY
ONE S.E. CONVENIENCE BLVD.
ANKENY, IOWA 50021
PROJECT CONTACT: MELANI ATHA
PH: (515) 965-6100

ENGINEER/LAND SURVEYOR:
A. LEO FELDS ENGINEERING COMPANY
2323 DIXON STREET
DES MOINES, IOWA 50317
PROJECT CONTACT: ELARA JONDLE
PH: (515) 265-8196

LEGAL DESCRIPTION:

The South 219.84 feet of the East 285.00 feet of Parcel A, as described on Plat of Survey No. 279, recorded in Book 3149, Page 425, in the office of the Linn County Recorder, all being in and forming a part of the City of Cedar Rapids, Linn County, Iowa, containing 1.77 acres, more or less.

AND

The North 50.00 feet of the 16th Avenue SW right-of-way, south of and adjacent to the East 285.00 feet of said Parcel A.

To be known as Lot 1, Casey's Addition to Cedar Rapids.

SHEET INDEX

Sheet 1.....	Cover Sheet
Sheet 2.....	Boundary & Topo
Sheet 3.....	Site Plan (AL-101)
Sheet 4.....	Grading Plan
Sheet 5.....	Utility Plan
Sheet 6.....	Landscaping Plan

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEMARS L. FELDS, P.E. IA. LIC. NO. 18842 DATE
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE)

Casey's General Stores
NE Corner SW 16th Street & Jacolyn Drive
Cedar Rapids, Iowa

A. LEO FELDS ENGINEERING COMPANY
Engineering | Planning | Surveying
2323 Dixon Street, Des Moines, IA 50316 • P.O. Box 4626, Des Moines, IA 50305 • P: (515) 265-8196 F: (515) 266-2259

EXISTING UTILITIES NOTE:
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LEGEND:

STANDARD SYMBOLS:

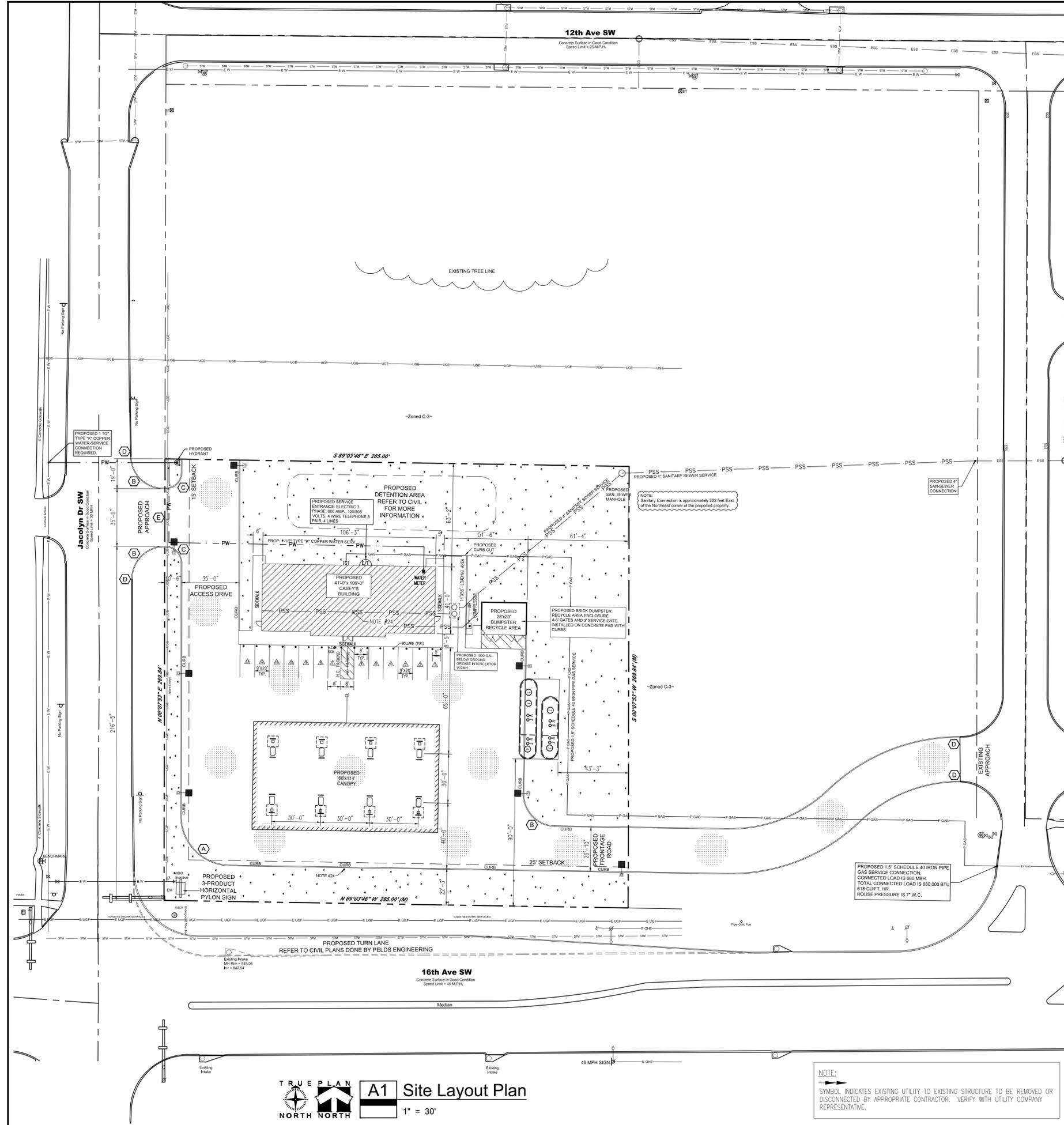
- IRON ROD OR PIPE FOUND
- CALCULATED CORNER
- ▲ SECT. COR. MONUMENT FOUND
- △ SECT. COR. MONUMENT CALC.
- ⊙ POWER POLE
- ⊙ LIGHT POLE
- F.F. FINISHED FLOOR

- +/-
- x-x-
- ⊙
- ⊙
- ⊙
- ⊙
- 125.3
- N.T.S.
- H.M.A.

- MORE OR LESS
- FENCE LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- VALVE
- SPOT ELEVATION (@ x)
- NOT TO SCALE
- HOT MIX ASPHALT

- P.C.C. PORTLAND CEMENT CONCRETE
- xxx- UTILITY LINE OR PIPE
- W WATER
- G GAS
- S SANITARY SEWER
- ST STORM SEWER
- UGE/T UNDERGROUND ELEC. / TEL.
- OHE/T OVERHEAD ELEC. / TEL.
- CATV CABLE TELEVISION

DATE PLOTTED	10-26-2015	DRAWN BY	E. Jondle	SCALE	NTS	DATE REVISION	01-08-2016	REVISION NO.	14-071
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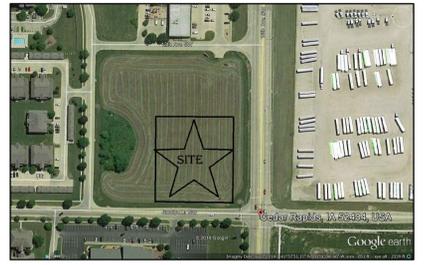


General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY PELDS ENGINEERING. SHEET 1: COVER SHEET (10-26-15) SHEET 2: BOUNDARY & TOPO (10-26-15) SHEET 3: SITE PLAN AL-101 (10-26-15) SHEET 4: GRADING PLAN (10-26-15) SHEET 5: UTILITY PLAN (10-26-15) SHEET 6: LANDSCAPING PLAN (10-26-15) 14-071: TURN LANE PLAN (10-27-15)
2. PARKING: 6 SPACES PER 1,000 SQ. FT. OF G.F.A. TOTAL SQ. FT. OF G.F.A. = 4,069 TOTAL SPACES REQUIRED = 24 TOTAL SPACES SHOWN = 32 INCLUDING 1 H.C. SPACE & 16 SPACES AT THE PUMPS.

U.G.S.T. Notes

- (F) FILL CATCH BASIN W/ OVERSPILL PROTECTION (TYP.)
- (1)(2)(3) TURBINE ENCLOSURE TYP. CONTAINS; SUB-PUMP W/LINE DETECTION, TANK PROBE FOR FUEL MONITORING, INCLUDING THE INTERSTITIAL SENSOR AND TANK SUMP SENSOR
- (V) VENT EXTRACTOR W/BALL FLOAT FOR OVERFILL PROTECTION SUMP SENSOR @ EACH DISPENSER.



VICINITY MAP

NTS

NOTICE: EROSION CONTROL MEASURES SUCH AS SILT FENCE, HAY BAILS, ETC., SHALL BE CONSTRUCTED INSTALLED PRIOR TO BE IMMEDIATELY FOLLOWING THE REMOVAL OF VEGETATION ON SITE. EROSION CONTROL AS SHOWN, SUBJECT TO CHANGE BUT SHALL BE DOCUMENTED ON PLAN THAT MUST BE ON SITE DURING CONSTRUCTION OF THE PROJECT UNTIL PROJECT IS COMPLETED. IOWA DNR PERMIT NO. _____

General Construction Notes

- 1.) 1 - 26,000 GALLON CONTAINMENT SOLUTION TANK (TANK IS SPLIT) TANK 1-18,000 GALLONS (87E SUPER UNLEADED) 10'-6"x34'-8.5" TANK 4 - 8,000 GALLONS (91C PREMIUM) 10'-6"x14'-6.25"
- 2.) TANK SETTING DETAILS PAGE QF-301
- 3.) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
- 4.) CIRCUIT BREAKER PANEL PAGE E-501
- 5.) REFRIGERATION WIRING PAGE QR-601, QR-602, QR-603
- 6.) GILBARCO WIRING PAGE QF-601
- 7.) ISLAND SIZE - 3'x5' W/DUAL GUARD PIPE
- 8.) 6 - GILBARCO 700 S DISPENSERS 2=NGO 2 NOZZLES & 6 METERS EACH 4=NG1 4 NOZZLES & 8 METERS EACH ISLAND DETAILS PAGE AL-501
- 9.) ISLAND CONDUIT DETAIL PAGE E-602
- 10.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
- 11.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
- 12.) SIGN BASE DETAILS PAGE AL-601
- 13.) SIGN DETAILS PAGE AL-601
- 14.) DRIVEWAY JOINTS TO BE PACKED & CAULKED CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH CONTROL JOINTS - MIN. 100 sq. ft. - MAX. 125 sq. ft. - 25% DEEP CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4 APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC. SLOPE MAX. 2% FOR BUILDING SIDEWALK. H.C. PARKING 1:50 ALL DIRECTIONS ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
- 15.) RUN VENT LINES UP SEPARATE CANOPY COLUMN. VERIFY
- 16.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
- 17.) CANOPY FOOTING: SIZE 6'-3" LENGTH X 6'-3" WIDTH X 3'-0" DEPTH. CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF F'C-3000 p.s.i. CONCRETE REINFORCING: ASTM A-615 GRADE 60. REBAR CAGE: (8) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM 12" MAXIMUM SPACING.
- 18.) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED ON A POST AT THE CURB. A SECONDARY SHUTOFF LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE OF STAFF. IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF.

Keyed Construction Notes

- NOTICE: ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF CEDAR RAPIDS APPROVAL AND SPECIFICATIONS.
- (A) PROPOSED 30' RADIUS
 - (B) PROPOSED 20' RADIUS
 - (C) PROPOSED 10' RADIUS
 - (D) TIE INTO AND MATCH EXISTING CURB.
 - (E) 2% MAX. CROSS-SLOPE IN SIDEWALK AREA.

Legal Description:

The South 219.84 feet of the East 285.00 feet of Parcel A, as described on Plat of Survey No. 279, recorded in Book 3149, Page 425, in the office of the Linn County Recorder, all being in and forming a part of the City of Cedar Rapids, Linn County, Iowa, containing 1.77 acres, more or less, AND The North 50.00 feet of the 16th Avenue SW right-of-way, south of and adjacent to the East 285.00 feet of said Parcel A. To be known as Lot 1, Casey's Addition to Cedar Rapids.

Legend

- (A) MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- (B) GASOLINE PUMP PARKING SPACES (DO NOT PAINT LINES OR OTHERWISE MARK)
- (C) CONCRETE PAVING OR SIDEWALKS
- (D) AREA TO BE SOD
- (E) AREA LIGHTS (7 SHOWN) REFER TO LIGHTING PLAN RL-2434-S1-R3 DONE BY RED LEONARD

Zoning Information			
CURRENT ZONING	C-3 REGIONAL COMMERCIAL ZONE DISTRICT	STATUS	
CURRENT USE	VACANT PROPERTY	SOURCE INFORMATION	City of Cedar Rapids
ITEM	REQUIRED	OBSERVED	ADDRESS 1211 6th Street SW Cedar Rapids, Iowa 52404
MINIMUM LOT AREA	800 sq. ft.	76,897 sq. ft.	
MINIMUM FRONTAGE	---	270 ft.	PERSON CONTACTED Joseph Mallander
MINIMUM LOT WIDTH	50 ft.	270 ft.	DATE CONTACTED 09-09-2014
MAX. FLOOR AREA RATIO	---	---	PHONE NUMBER 319-286-5822
MINIMUM SETBACKS FRONT	25 ft.	---	EMAIL ADDRESS j.mallander@cedar-rapids.org
MINIMUM SETBACKS CORNER LOTS	15 ft.	---	NOTES: The subject site is located in Section 25-83-8
MINIMUM SETBACKS REAR SIDE	0 ft.	---	Per IOWA Permit # 1513-03-04005, Effective Date April 5, 2010, the 0.2% Sloped in Zone X, areas determined to be outside the 0.2% annual chance floodplain.
MINIMUM SETBACKS REAR	0 ft.	---	
MAX. BUILDING HEIGHT	100 ft.	---	
REQUIRED PARKING	1/3000 SF GLA = 17 sp.	---	Iowa one-Call Design Ticket #551403128

BRICK & EIFS REAR WALL
ROOFTOP EQUIPMENT TO BE SCREENED
DRINKING FOUNTAIN REQUIRED

CASEY'S CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

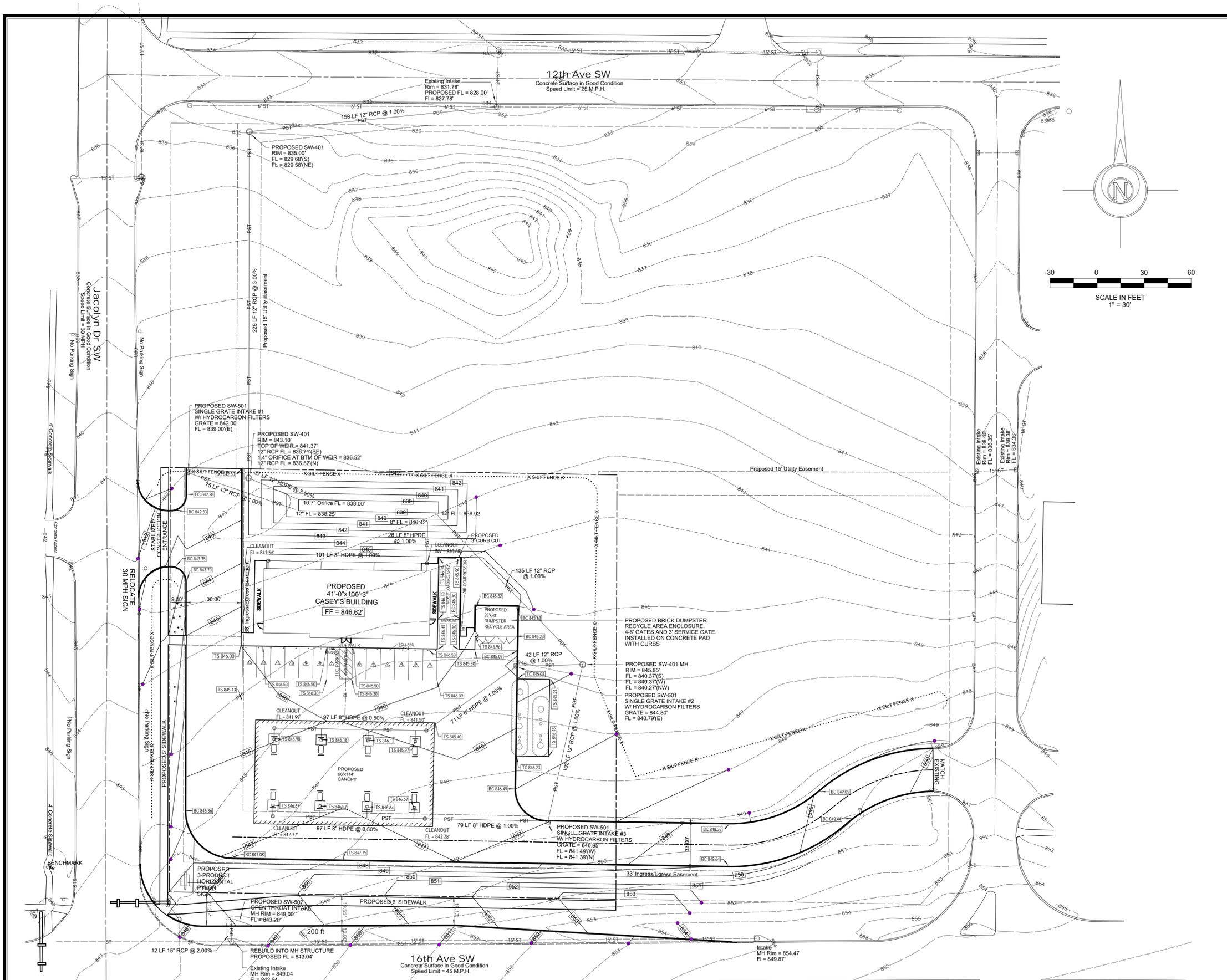
PROJECT: CEDAR RAPIDS, IA, SW 16TH & JACOLYN "O3" STYLE STORE FLAT ROOF	DATE: 10-29-14	SITE PLAN
CONSTRUCTION DIVISION	11-03-14	
DRAWN BY: L. BURKE	CHECKED BY:	AL-101

TRUE PLAN NORTH NORTH

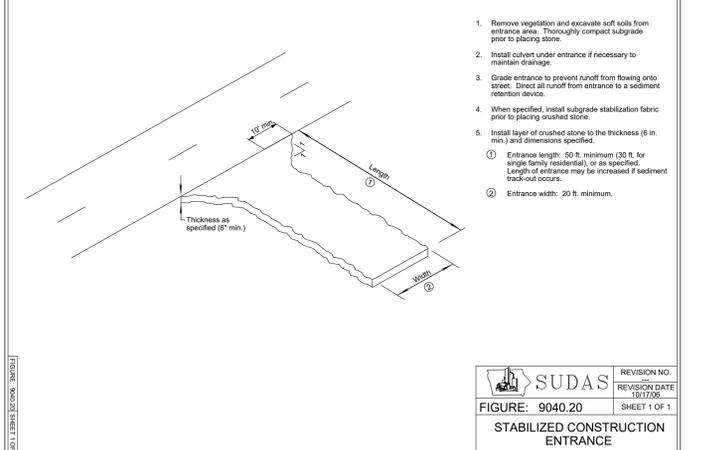
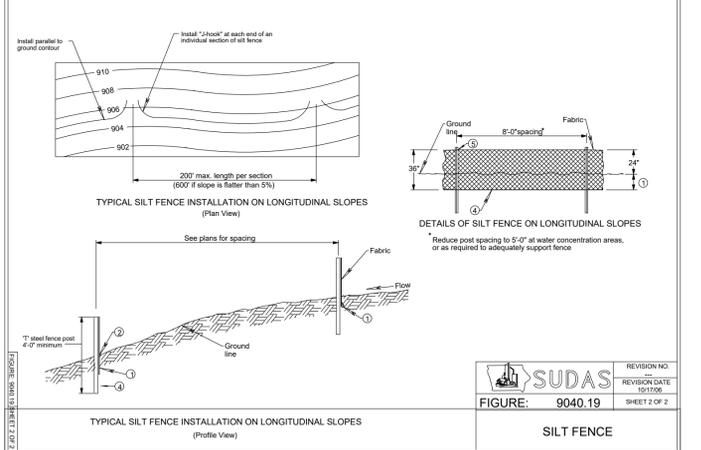
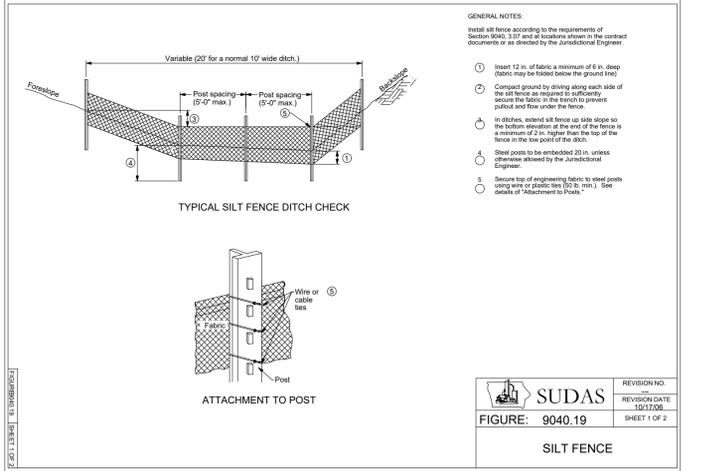
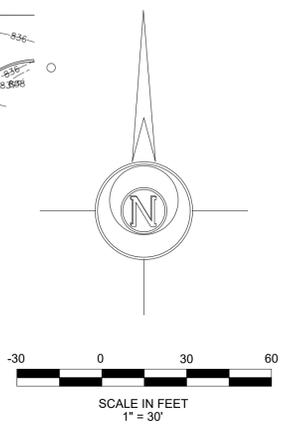
A1 Site Layout Plan

1" = 30'

NOTE: SYMBOL INDICATES EXISTING UTILITY TO EXISTING STRUCTURE TO BE REMOVED OR DISCONNECTED BY APPROPRIATE CONTRACTOR. VERIFY WITH UTILITY COMPANY REPRESENTATIVE.



- GRADING NOTES:
- STRIP TOPSOIL (8") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW.
 - ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED.
 - PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 4 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIALS.
 - ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
 - ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
 - GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
 - FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FEET AND PAVED AREAS SHALL BE WITHIN 0.10 FEET OF THE PROPOSED GRADES SHOWN ON THE PLAN.
 - THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
 - MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
 - TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS.
 - THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
 - ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF CEDAR RAPIDS.
 - ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE CITY OF CEDAR RAPIDS.
 - MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.



A. LEO PELDS ENGINEERING COMPANY
Engineering | Planning | Surveying
2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

EXISTING UTILITIES NOTE:
THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-8999).

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LEGEND:

STANDARD SYMBOLS:

- MATCH EXISTING ELEVATION
- GAS METER
- PARKING SPACE
- STREET LIGHT
- POWER POLE
- LIGHT POLE
- F.F. FINISHED FLOOR
- CLEANOUT
- MORE OR LESS FENCE LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- VALVE
- BOTTOM OF CURB ELEVATION
- TOP OF CURB ELEVATION
- TOP OF SLAB ELEVATION
- FLOWLINE ELEVATION
- DOWNSPOUT
- PROPOSED UTILITY LINE
- UTILITY LINE OR PIPE
- WATER
- WATER METER
- GAS
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELEC. / TEL.
- OVERHEAD ELEC. / TEL.
- CABLE TELEVISION

Casey's General Stores
N.E. Corner S.W. 16th Street & Jacolyn Drive
Cedar Rapids, Iowa

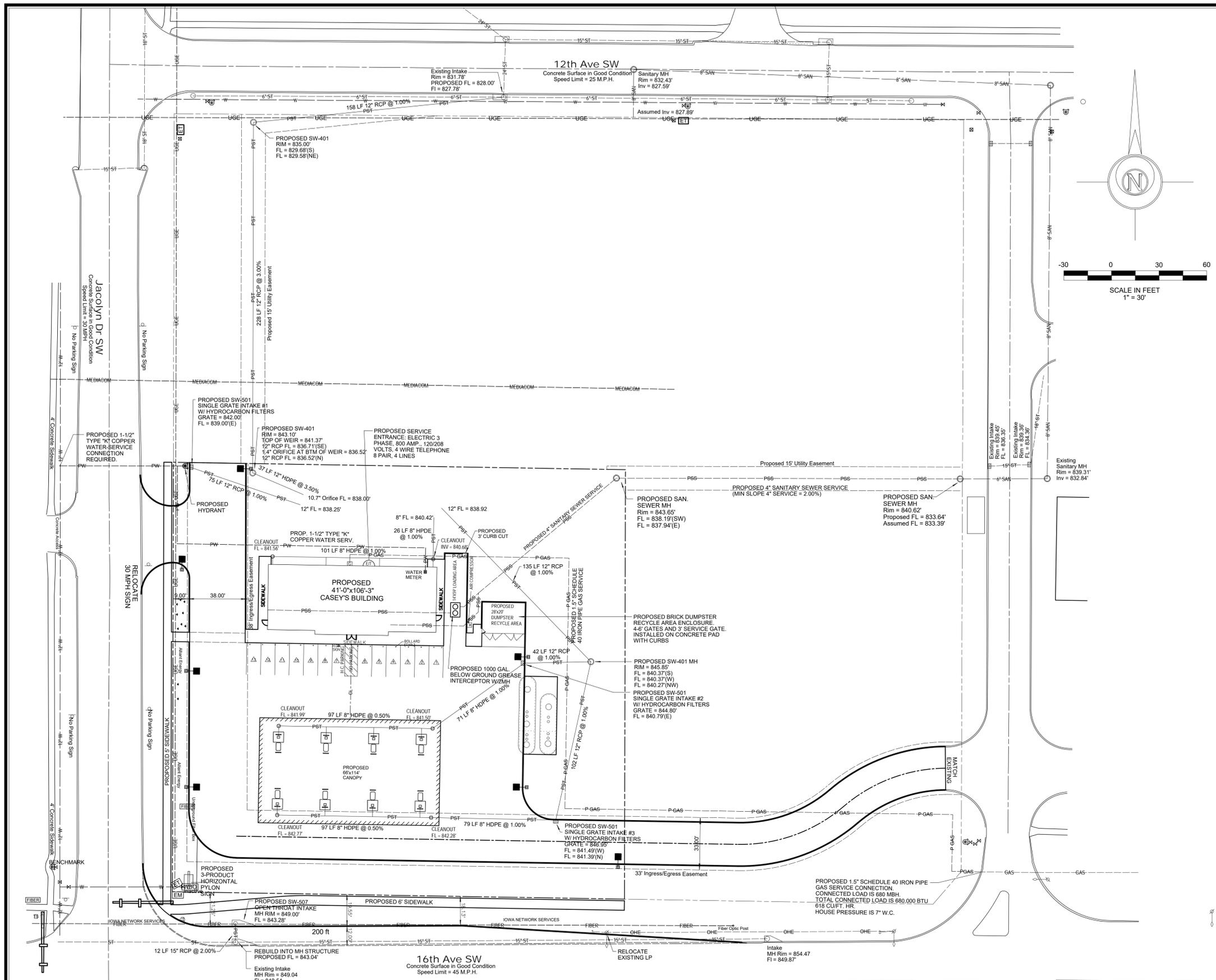
PROJECT: "X" on SE Bolt of Firehydrant @ NW Cor 16th Ave & Jacolyn Dr
Elevation = 848.08'

DESIGNED BY: 10-27-2015 E. Jondle 1" = 30'
DRAWN BY: 01-08-2016
CHECKED BY: 14-071

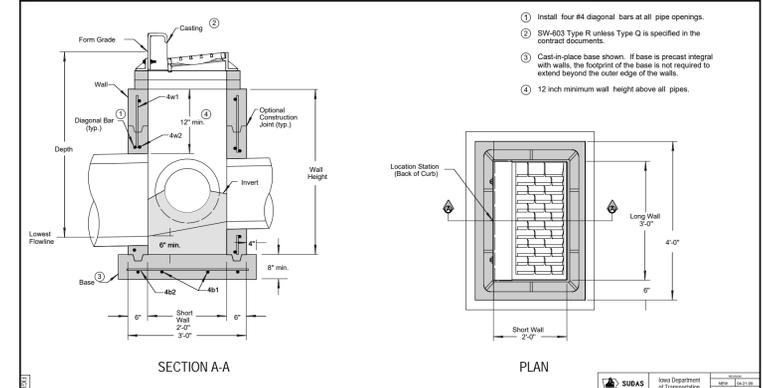
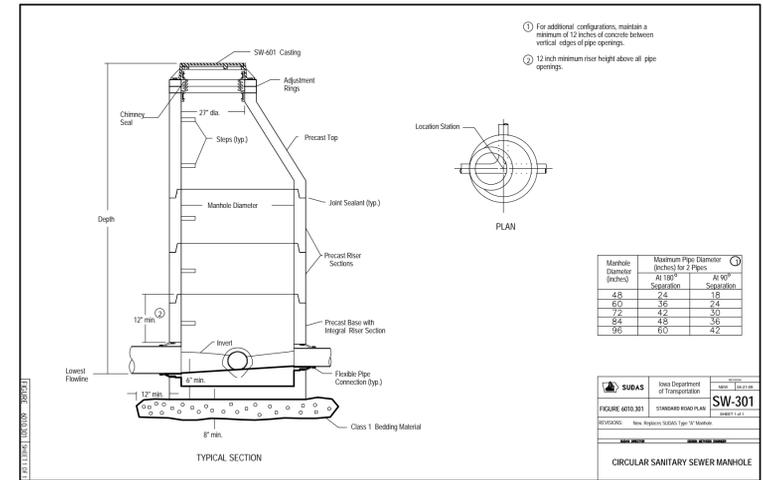
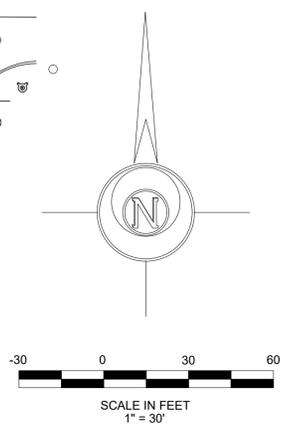
FILE NAME: J:\Casey's\Cedar Rapids\NEC SW 16th & Jacolyn Dr\Site Plan\CGS - Cedar Rapids 16 & Jacolyn - Base Plan

FIGURE: 9040.20 SHEET 1 OF 1

STABILIZED CONSTRUCTION ENTRANCE

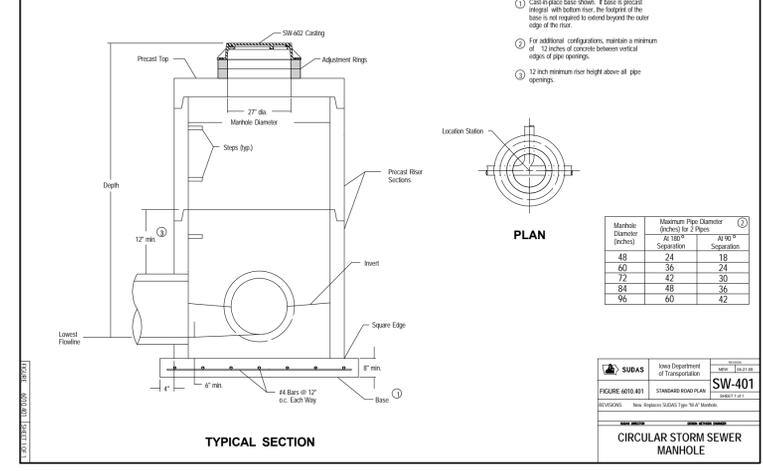


- UTILITY NOTES:
1. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
 3. THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE SURFACE FEATURES SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
 4. SANITARY SERVICE SHALL BE PLACED AT A 2% SLOPE (MINIMUM FOR 4" SERVICE).



REINFORCING BAR LIST

Mark	Size	Location	Shape	Length	Count	Spacing
1301	4	Walls	Wall Height minus 4"	14	12"	
4w2	4	Long Walls		Varies	12"	
4w3	4	Short Walls		7'-8"	Varies	12"
4b1	4	Base		4	10"	
4b2	4	Base		1'-2"	6	10"



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LEGEND:
STANDARD SYMBOLS:

- MATCH EXISTING ELEVATION
- GAS METER
- PARKING SPACE
- STREET LIGHT
- POWER POLE
- LIGHT POLE
- FINISHED FLOOR
- CLEANOUT
- MORE OR LESS
- FENCE LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- VALVE
- BOTTOM OF CURB ELEVATION
- TOP OF CURB ELEVATION
- TOP OF SLAB ELEVATION
- FLOWLINE ELEVATION
- DOWNSPOUT
- PROPOSED UTILITY LINE
- UTILITY LINE OR PIPE
- WATER
- WATER METER
- GAS
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELEC. / TEL.
- OVERHEAD ELEC. / TEL.
- CABLE TELEVISION

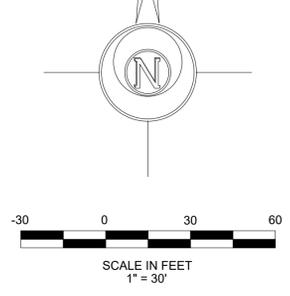
Casey's General Stores
N.E. Corner S.W. 16th Street & Jacolyn Drive
Cedar Rapids, Iowa

DATE: 10-27-2015
DRAWN BY: E. Jondle
SCALE: 1" = 30'
CHECKED BY: 01-08-2016
PROJECT NO.: 14-071

FIGURE 4010.001
STANDARD HOUSE PLAN
SW-401
CIRCULAR STORM SEWER MANHOLE

12th Ave SW
Concrete Surface in Good Condition
Speed Limit = 25 M.P.H.

Jacolyn Dr SW
Concrete Surface in Good Condition
Speed Limit = 30 MPH



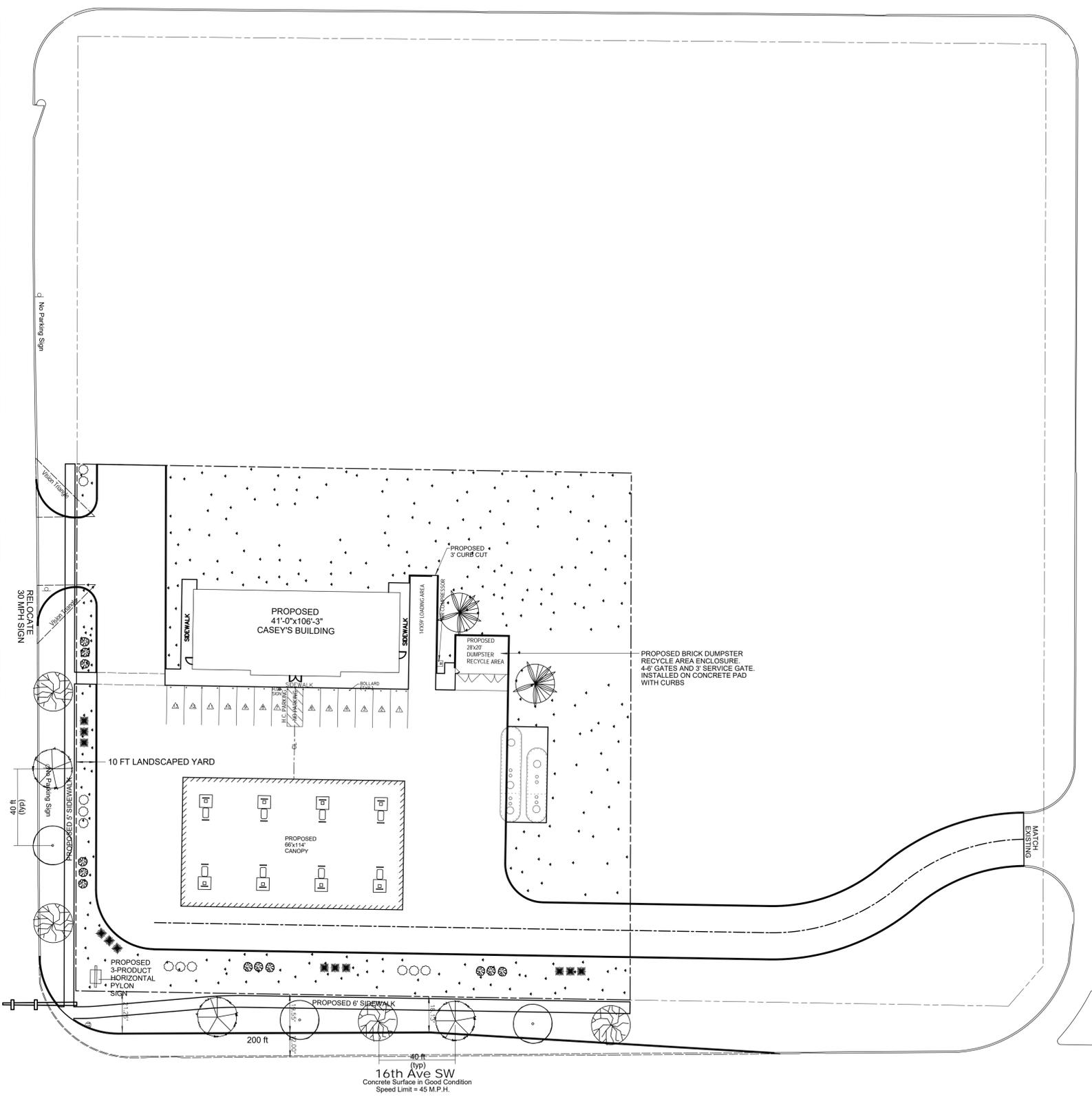
LANDSCAPING REQUIREMENTS
ROW TREES
1 Tree per 40 feet of frontage = 16th Avenue SW = 285 ft / 40 ft = 7 trees required
Jacolyn Drive SW = 235 ft / 40 ft = 6 trees required
EXCEPT those areas affected by corner visual clearance areas.
SHRUBS
Shrubs at least 3 feet in height shall be provided in amounts and locations sufficient to screen at least 66% of the view of parked vehicles when viewed from the public street.

PARKING LOT TREES
1 Tree per 12 spaces = 29 spaces required = 29 / 12 = 2 trees required
PROPOSED DECIDUOUS TREES:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	3	Kentucky Coffeetree (Gymnocladus dioicus)	2" DBH
	4	Bicolor Oak (Swamp White) (Quercus bicolor)	2" DBH
	3	Amur Maple (Acer ginnala)	2" DBH
	2	Sunburst Honeylocust (Gleditsia triacanthos 'Suncole')	2" DBH

PROPOSED SHRUBS:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	12	Summer Snowflake Viburnum (Viburnum plicatum 'Summer Snowflake')	2 GAL
	12	Gold Mound Spirea (Spiraea x bumalda 'Goldmound')	2 GAL
	11	Green Velvet Boxwood (Buxus sempervirens 'Green Velvet')	2 GAL



A. LEO PELDS ENGINEERING COMPANY
Engineering | Planning | Surveying
2323 Dixon Street, Des Moines, IA 50316 - P.O. Box 4626, Des Moines, IA 50305 - P: (515) 265-8196 F: (515) 266-2259

EXISTING UTILITIES NOTE:
THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION. IOWA ONE-CALL (1-800-292-8989).
DISCLAIMER:
THIS DRAWING IS BEING MADE AVAILABLE BY A. LEO PELDS ENGINEERING COMPANY (A.L.P.E.C.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH A.L.P.E.C.'S AGREEMENT FOR PROFESSIONAL SERVICES. A.L.P.E.C. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

LEGEND:
STANDARD SYMBOLS:

	MATCH EXISTING ELEVATION		GAS METER		PARKING SPACE		STREET LIGHT		POWER POLE		LIGHT POLE		FINISHED FLOOR								
	CLEANOUT		MORE OR LESS FENCE LINE		FIRE HYDRANT		SANITARY SEWER MANHOLE		STORM SEWER MANHOLE		VALVE		BOTTOM OF CURB ELEVATION		TOP OF CURB ELEVATION		TOP OF SLAB ELEVATION		FLOWLINE ELEVATION		
	DOWNSPOUT		PROPOSED UTILITY LINE		UTILITY LINE OR PIPE		WATER		WATER METER		GAS		SANITARY SEWER		STORM SEWER		UNDERGROUND ELEC. / TEL.		OVERHEAD ELEC. / TEL.		CABLE TELEVISION

Casey's General Stores
N.E. Corner S.W. 16th Street & Jacolyn Drive
Cedar Rapids, Iowa

DATE: 10-27-2015
DRAWN BY: E. Jondle
SCALE: 1" = 30'
REVISIONS: 01-08-2016
DRAWING NO.: 14-071
SHEET: Sheet 6 - Landscape



Development Service Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5820

STAFF REPORT TO CITY PLANNING COMMISSION
Major Preliminary Plat

CPC Date: February 18, 2016

To: City Planning Commission
From: Development Services Department

Applicant: Gardenview, Inc.
Titleholder: Gardenview, Inc.

Plat Name: Gardenview Third Addition
Location: Belle Street SW and Bryant Boulevard SW

Request: Consideration of a Major Preliminary Plat in R-2, Single Family Residence Zone District

Case Number: PRPT-022397-2016
Case Manager: Chris Strecker, Civil Engineer

BACKGROUND INFORMATION:

The applicant, Gardenview, Inc. is requesting approval of a Major Preliminary Plat for the agricultural land located at Belle Street SW and Bryant Boulevard SW. The property is currently used for agriculture and is currently zoned R-2, Single Family Residence Zone District. The proposal is to extend existing streets and subdivide the property into 42 numbered lots for single-family homes, 1 lettered lot for storm water detention and 1 lot for future development.

Since this project is still in the marketing phase there will most likely be minor changes to the proposed lot lines. These changes, if minor in nature would be dealt with at the time of final plat application.

The Preliminary Plat as submitted includes the following:

- Total site area is 26.64 acres.
- Total lots - 44.
- Accesses:
 - One from Stoney Point Road SW
- Storm water management areas will be provided on Lot A for the subdivision.

FINDINGS:

The City Planning Commission shall review the application based on the following criteria:

- 1. That the proposed use and development will be consistent with the intent and purposes of the Comprehensive Plan and other applicable codes and regulations.**

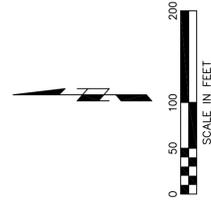
Staff Comments: The proposed use and development are consistent with the intent and purposes of the Comprehensive Plan. The development area is shown as “Urban Low Intensity” on the Future Land Use Map in the City’s Comprehensive Plan. The proposed development is consistent with the goals and objective of the “Urban Low Intensity” land use and will also comply with all other applicable codes, regulations and approvals.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed major preliminary plat, adoption of the following conditions as recommended by City Departments should be considered. The City Planning Commission may approve with additional conditions.

1. This site shall be developed in compliance with the provisions of the Flood Plain Management Ordinance.
2. That when this area is final platted, must comply with lot area and width requirements as set forth in the Zoning Ordinance.
3. That an agreement shall be recorded with the final plat providing for ownership, tax responsibility, maintenance, and liability for the lettered lots.
4. That access control be established and shown on the final plat such that direct access from Lot B to Stoney Point Road is prohibited.
5. The Developer shall maintain the public detention basin(s) following acceptance of all maintenance bonds for a minimum of one year or until erosion and sediment control is established and accepted by the City. Following City acceptance and maintenance of said detention basin(s), the Developer will use all reasonable measures to protect detention basin(s) from sediment runoff and damage. All construction activities are subject to the Municipal Code Chapter 71 “Erosion and Sediment Control for Construction Sites” until such time that all disturbed areas are completely stabilized and developed. The Developer agrees to remove sediment from, reseed, and otherwise repair said detention basin should development related damage occur after the basin has been accepted by the City.
6. As part of final plat approvals by City Council, the property owner shall submit signed agreements for the dedication of easements for recreational trails in accordance with the Metropolitan Area Trails System Report adopted by City Council Resolution No. 240-2-93, dated February 17, 1993. The dedication of easements will occur at such time as deemed necessary by City Council along Highway 30 adjoining the entire site. The City shall furnish a copy of the agreement form upon request by the property owner.

PRELIMINARY PLAT FOR
GARDENVIEW THIRD ADDITION
TO THE CITY OF CEDAR RAPIDS, LINN COUNTY, IOWA



NOTE:
100 YEAR FLOOD PLANE LINE BASED FROM FEMA FIRM
PANEL 385 OR 625
MAP # 1911300385D
DATE: APRIL 5, 2010
LINN COUNTY, IOWA

TITLE HOLDER:
GARDENVIEW INC.
640 MARION BLVD.
MARION, IOWA 52302
TOTAL AREA: 26.64 ACRES
NW 1/4 NW 1/4 SECTION 35-T83N-R8W: 22.30 ACRES
NW 1/4 NW 1/4 SECTION 02-T82N-R8W: 4.34 ACRES

SURVEYOR / CONTACT:
WADE D. WAHRE, PLS
SHIVE-HATTERY, INC
316 SECOND ST. SE, SUITE 500
CEDAR RAPIDS, IA 52401
wwahre@shive-hattery.com

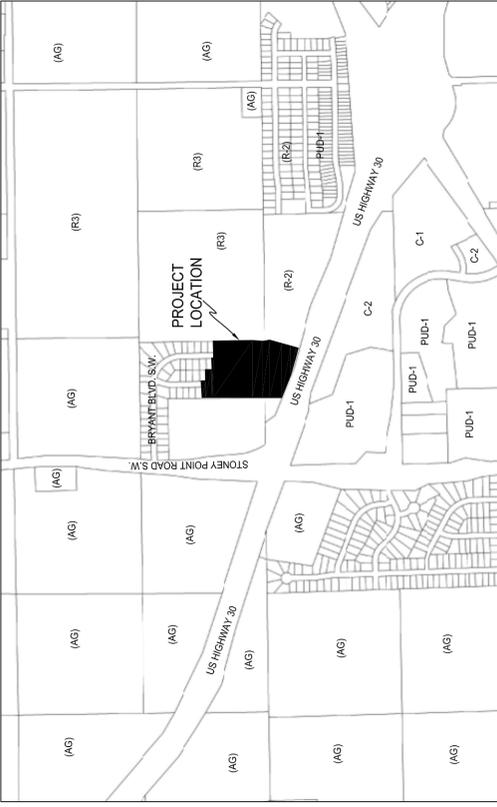
LAND DESCRIPTION:
Part of Lot 'C' Gardenview First Addition to Cedar Rapids, Iowa except for Gardenview Second Addition to Cedar Rapids, Iowa, and Part of South 1/2 SW 1/4 Section 35 and SW 1/4 SE 1/4 Section 35, as shown on the Public Highways and Public Utilities Map of Linn County, Iowa, Section 2-92-3, Linn County, Iowa, described as follows: Beginning at the North 1/4, 1/2 NW 1/4 Section 2-92-3, Linn County, Iowa, described as follows: Beginning at the North 1/4 corner of said Sec. 2; thence S 0° 56' 34" East 853.5 feet along the East line of said North Fr. 1/2 NW 1/4; thence N 73° 15' West 479.2 feet; thence N 67° 09' 1/4" West 550.7 feet; thence N 73° 59' 1/2" West 686.5 feet; thence N 68° 00' 3/4" West 512.1 feet; thence N 36° 56' 1/4" West 146.8 feet to a point on the North line of said North Fr. 1/2 NW 1/4; thence North 89° 55' 1/4" East 2175.3 feet along said North line to the point of beginning.

Said Parcel contains 26.64 acres, subject to easements and restrictions of record.

APPLICANT:
GARDENVIEW INC.
640 MARION BLVD.
MARION, IOWA 52302

APPLICANT'S NOTE:
1.) LOT 'A' IS NOW BEING DEDICATED IN FEE SIMPLE TO THE PUBLIC FOR STORM WATER MANAGEMENT AND OTHER PUBLIC USES.
2.) LOT 'B' WILL BE USED FOR FUTURE DEVELOPMENT

LOCATION MAP



NOT TO SCALE

UTILITY LEGEND - EXISTING SURVEY LEGEND

PROPOSED SANITARY SEWER	FOUND SURVEY MONUMENT
PROPOSED STORM SEWER	SECTION CORNER FOUND
PROPOSED WATER MAIN	CUT "X" IN CONCRETE
GAS	RECORDED AS
CONTOUR LINE	10' UTILITY EASEMENT UNLESS OTHERWISE NOTED
POWER POLE	EXISTING EASEMENT LINE
GUY ANCHOR	PLAT OR SURVEY BOUNDARY
TELEPHONE PEDESTAL	CENTERLINE
UTILITY/CONTROL CABINET	SECTION LINE
SANITARY MANHOLE	1/4 SECTION LINE
STORM MANHOLE	1/4-1/4 SECTION LINE
GRATE INTAKE	EXISTING LOT LINE
CURB INTAKE	
GAS VALVE	
FLARED END SECTION	
BOLLARD	
BENCHMARK	
FIRE HYDRANT	
WATER VALVE	
FIRE HYDRANT	
RADIUS	

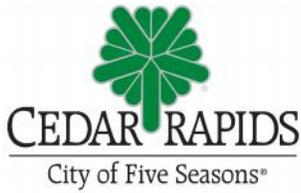
PRELIMINARY PLAT FOR
GARDENVIEW THIRD ADDITION
TO THE CITY OF CEDAR RAPIDS, LINN COUNTY, IOWA

SHIVE-HATTERY
ARCHITECTURE + ENGINEERING
Iowa | Illinois | Indiana | Missouri <http://www.shive-hattery.com>

PROJECT NO.
2152720

ISSUED FOR

DATE	2-3--2016	SCALE	1"=100'
DRAWN	cen	APPROVED	FIELD BOOK
REFERENCE	DRAWING	REVISION	



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5820

STAFF REPORT TO CITY PLANNING COMMISSION
Preliminary Site Development Plan

CPC Date: February 18, 2016

To: City Planning Commission
From: Development Services Department

Applicant: Unity Point Health
Titleholder: Menards, Inc.

Location: Williams Boulevard SW
Request: Consideration of Preliminary Site Development Plan approval in a C-3, Regional Commercial Zone District

Case Manager: Chris Strecker, PE, Civil Engineer
Case Number: PSDP-022448-2016

BACKGROUND INFORMATION:

The property is currently land that is part of the Menards site. The land is being platted to create a separate lot. The applicant is applying for Preliminary Site Development Plan approval to construct a 24,000 s.f. medical clinic with physical therapy and lab. An Administrative Site Development plan will be reviewed as part of City process.

The proposed uses and development are consistent with the intent and purposes of EnvisionCR, the Comprehensive Plan. The proposed development area is shown as “Commercial” on the Future Land Use Map in the Comprehensive Plan. The development will also comply with all other applicable codes, regulations and approvals.

The Preliminary Site Development Plan submitted includes the following proposed improvements:

- Total site area – 3.23 acres
- Proposed building size – 24,000 s.f.
- Total parking required – 4.5 space per 1,000 gfa = 108 total spaces
- Total parking provided - 108 spaces
- Existing open space - 100% of total area
- Proposed open space – 42.6 % of total area

FINDINGS:

Section 32.02.030.C.5.e of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

1. The Site Development Plan is consistent with the previously approved Preliminary Plans for the property (if applicable)

Staff comments: The proposed preliminary site development plan is not consistent with the previously approved site plan for this property. The previous approved site plan provided for an expansion of the Menards Store. This expansion is no longer being considered. The property is undeveloped land.

2. The Site Development Plan conforms to all applicable requirements of this Ordinance.

Staff comments: The site development plan conforms to all applicable requirements of the City's Zoning Ordinance and other applicable codes and regulations provided the conditions proposed by City staff are complied with.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed Preliminary Site Development Plan, adoption of the following conditions as recommended by Development Services should be considered. The City Planning Commission may approve with additional conditions.

1. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, the property owner shall be responsible to submit to the City a signed Agreement for Private Storm Water Detention.
2. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY, the property owner shall be responsible to construct concrete sidewalk public streets adjoining this site. The property owner shall construct the sidewalk improvements in accordance with City Standards, ADA requirements, and improvement plans accepted by the City Public Works Director/City Engineer.
3. All lighting shall be of a type, design and placement, and also be shielded in a manner to minimize impact on residential properties or uses adjacent to or immediately across the street.
4. Subject property shall be platted per State and City platting regulations.