

AGENDA
CITY PLANNING COMMISSION MEETING
Thursday, June 11, 2015 @ 3:00 PM
City Hall Council Chambers
101 First Street SE, Cedar Rapids, IA 52401

Call Meeting to Order

Roll Call

A. Approval of the Minutes

B. Adoption of the Agenda

C. Action Items

1. Case Name: 1225 13th Street NW (Rezoning)

Consideration of a change of zone from R-3, Single Family Residence Zone District to RMF-2, Multiple Family Residence Zone District as requested by The Meth-Wick Community (Applicant/Titleholder)

Case No: RZNE-017699-2015; Case Manager: Vern Zakostecky

2. Case Name: 100 16th Avenue SW, 1510 C Street SW and vacant land to the Southwest (Conditional Use)

Consideration of a Conditional Use for Dwelling Unit on the Ground Floor in a C-3, Regional Commercial Zone District as requested by Robert and Jitka Schaffer (Applicants/Titleholders)

Case No: COND-018013-2015; Case Manager: Dave Houg

3. Case Name: 600 1st Street SE (Conditional Use)

Consideration of a Conditional Use for Outdoor Service Area in a C-4, Central Business Zone District as requested by Clock House, LLC (Applicants/Titleholders)

Case No: COND-018044-2015; Case Manager: Dave Houg

4. Case Name: 200, 210 and 212 3rd Avenue SW (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a C-3, Regional Commercial Zone District as requested by Kingston Lofts, LLC (Applicant/Titleholder)

Case No. PSDP-018873-2015; Case Manager: Vern Zakostecky

D. New Business



City Planning Commission
City of Cedar Rapids
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5041

**MINUTES OF
CITY PLANNING COMMISSION MEETING,
Thursday, May 21, 2015 @ 3:00 p.m.**

Cedar Rapids City Hall Council Chambers, 101 First Street SE

Members Present: Scott Overland, Chair
Jim Halverson, Vice – Chair
Carletta Knox-Seymour
Virginia Wilts
Samantha Dahlby
Richard Pankey
Kim King
Dominique Blank
Bill Hunse

DSD Staff: Joe Mailander, Manager
Vern Zakostecky, Planner
Dave Houg, Plats & Zoning Conditions Coordinator

CD Staff: Jeff Hintz, Planner
Bill Micheel, Assistant Community Development Director
Anne Russett, Planner
Kirsty Sanchez, Planner

City Council Liaison: Justin Shields

Call Meeting to Order

The meeting was called to order at 3:00 p.m.

Commissioner Overland presented the opening statements stating the protocol of the meeting and the purpose of the City Planning Commission.

Roll Call

Roll call was answered with nine (9) Commissioners present.

A. Approval of the Minutes

Commissioner Overland called for any additions or corrections to the minutes. Commissioner Overland stated with no additions or corrections, the April 30, 2015 Minutes stand approved.

B. Adoption of the Agenda

Commissioner Overland called for any additions or corrections to the agenda. Commissioner Overland stated with no additions or corrections, the agenda stands approved.

C. Action Items

1. Case Name: 1609 3rd Street SE and 219 16th Avenue SE (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a C-3, Regional Commercial Zone District as requested by Brett A. McCormick (Applicant/Titleholder)
Case No. PSDP-013126-2015; Case Manager: Vern Zakostelecky

Mr. Zakostelecky stated the applicant is requesting Preliminary Site Development Plan approval for the property, which most recently was used as a contractor shop and warehouse and storage. The site plan also includes vacant property between the alley and 2nd Street SE that is proposed for parking. The property is currently zoned C-3, Regional Commercial Zone District and O-S, Office/Service Zone District. The proposal is to renovate the buildings into a mixed use development including a bar, restaurant, entertainment/amusement venue. The upper level of the building at 219 16th Avenue SE may end up being uses as residential provided building code issues can be adequately addressed. Mr. Zakostelecky presented a Location Map, Aerial Photo, Site Plan and Renderings of the buildings.

Commissioner Overland called for questions of Mr. Zakostelecky. Mr. Zakostelecky stated that if the applicant were to serve alcohol outside they would have to submit for a Conditional Use application for an Outdoor Service Area permit.

Commissioner Halverson asked why the applicant did not submit for a Planned Unit Development for this project. Mr. Zakostelecky stated that based on the projects the applicant is proposing, it is not a huge mix of uses and staff felt the current zoning was appropriate.

Commissioner Overland called for a representative of the applicant.

Ghassan Halloush, All Trans, Inc., 1930 St Andrews Court NE stated he would be happy to answer any questions.

Commissioner Hunse asked if there were any stormwater issues. Mr. Zakostelecky stated that since the site was already developed there would not be any stormwater detention requirement.

Commissioner Overland called for questions of the applicant. No questions were presented.

Commissioner Overland called for members of the public who wished to speak.

Commissioner Overland called for a motion. Commissioner Knox-Seymour made a motion to approve the Preliminary Site Development Plan in a C-3, Regional Commercial Zone District. Commissioner Halverson seconded the motion.

Commissioner Overland called for discussion on the motion. No further discussion.

Commissioner Overland called for a vote on the motion. The motion passed unanimously with none opposed.

2. Case Name: 1200 Continental Place NE (Conditional Use)

Consideration of a Conditional Use for Warehousing, Wholesaling and Distribution Establishments in a C-3, Regional Commercial Zone District as requested by Continental Place, LLC (Applicant/Titleholder)

Case No: COND-016331-2015; Case Manager: Dave Houg

Mr. Houg stated that staff had examined the Major Revised Site Development Plan for a Conditional Use submitted by Greg's Lawn & Landscaping for property located at 1200 Continental Place NE and zoned C-3, Regional Commercial Zone District. The area shown for the proposed development consists of the original parcel (4.20 acres) and an additional leased parcel (1.79 acres). This request is for an expansion of an existing contractor's shop with additional outdoor storage and fencing which includes an adjacent parcel to the north. Mr. Houg presented a Location Map, 2012 Aerial View, 2014 Aerial View and a Site Plan.

Commissioner Overland called for questions of Mr. Houg. No questions were presented.

Commissioner Overland called for a representative of the applicant.

Mike Brain, Brain Engineering, 1540 Midland Court NE stated he would be happy to answer any questions.

Commissioner Pankey asked if they were adding fencing to screen the property. Mr. Zakostecky stated that the fence would be moved 20 feet and then landscaping would be provided for screening.

Commissioner Overland called for questions of the applicant. No questions were presented.

Commissioner Overland called for members of the public who wished to speak.

Commissioner Overland called for a motion. Commissioner Halverson made a motion to approve change of zone from I-1, Light Industrial Zone District to R-3, Single Family Residence Zone District. Commissioner Pankey seconded the motion.

Commissioner Overland called for discussion on the motion.

Commissioner Blank asked if the trail would be inside the fence. Mr. Zakostecky stated that it would be outside the fence.

Commissioner Overland called for a vote on the motion. The motion passed unanimously with none opposed.

3. Case Name: 1103 and 1201 Blairs Ferry Road. NE (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a PUD-1, Planned Unit Development One Zone District at 1103 and 1201 Blairs Ferry Road NE as requested by Hunter Companies, LLC (Applicant/Titleholder)

Case No: PSDP-016434-2015; Case Manager: Vern Zakostelecky

Mr. Zakostelecky stated the applicant is requesting Preliminary Site Development Plan approval for the property, which is the former Nash Finch distribution facility and property and a concrete distribution center. The improvements on the property are in the process of being demolished and recycled for re-use. The property is currently zoned PUD-1, Planned Unit Development One Zone District. The proposal is to subdivide the property into 13 lots for future development of mixed use commercial/office spaces. Since this project is still in the marketing phase there will most likely be changes to parking, building footprints, etc. These changes, if minor in nature would be dealt with at the time of Administrative Site Plan application. Mr. Zakostelecky presented a Location Map, Aerial Photo as well as a Site Plan

Commissioner Overland called for questions of Mr. Zakostelecky.

Commissioner Dahlby asked if there would be pedestrian access within the property. Mr. Zakostelecky stated there will be a sidewalk on Blairs Ferry Road and they would have to have sidewalks internally. Commissioner Dahlby asked if the applicant had included any bicycle racks. Mr. Zakostelecky stated that they had included bicycle racks.

Commissioner Blank asked about the trail. Mr. Zakostelecky stated there was a condition included.

Commissioner Hunse asked if the applicant had been in contact with the transit entity. Mr. Zakostelecky stated he did not know.

Commissioner Overland asked how the stormwater detention works as it builds out. Mr. Zakostelecky stated it would look like a typical detention area which would be addressed on a lot by lot basis, but could also include bio-cells and rain gardens.

Commissioner Overland asked what additional enhancements would be done. Mr. Zakostelecky stated that the building will be enhanced with stone, brick architectural metals, etc. and a preliminary list of what types of uses that would be allowed and which would not be allowed. Commissioner Overland asked if there would be a covenant. Mr. Zakostelecky stated that there will be a development agreement due to the fact it is a PUD development and that the developer is also working on restrictive covenants for the property.

Commissioner Dahlby stated there is only one bus stop on Blairs Ferry and a bus stop at light would be preferable for safety. Commissioner Dahlby asked if there would be a landscape screening on their site. Mr. Zakostelecky stated it falls on Greg's Lawn Service to the south.

Commissioner Overland called for a representative of the applicant. No applicant was present.

Commissioner Overland called for members of the public who wished to speak.

Greg Scharf, 1200 Continental Place NE asked where the water detention was going to drain off on site.

Mr. Zakostelecky stated that runoff could not go off onto other neighbors' property. Mr. Strecker stated that run off would be on Blairs Ferry Road or Council Street or Continental Place.

Commissioner Overland called for a motion. Commissioner Halverson made a motion to approve the Preliminary Site Development Plan in an I-1, Light Industrial Zone District. Commissioner Knox-Seymour seconded the motion.

Commissioner Blank stated she was excited for this and trust that what we do not see but feel that it will look great.

Commissioner Overland called for discussion on the motion. No further discussion.

Commissioner Overland called for a vote on the motion. The motion passed by a vote of 8 to 1.

4. Case Name: 3730 Williams Boulevard SW (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a C-2, Community Commercial Zone District at 3730 Williams Boulevard SW as requested by Kwik Trip, Inc. (Applicant) and Perpetual Savings & Loan Association (Titleholder)

Case No: PSDP-017977-2015; Case Manager: Chris Strecker

Mr. Strecker the property is currently developed as a bank. The applicant is applying for Preliminary Site Development Plan approval to construct a 9,022 sq. ft. convenience store including a car wash. Mr. Strecker presented a Zoning Ariel, Street View, Revised Site Plan and Renderings. Mr. Strecker further stated that an additional condition had been added which is: "That a pedestrian sidewalk connection be constructed from the main customer entrance southerly to the proposed sidewalk along Williams Boulevard SW." An Administrative Site Development plan will be reviewed as part of City review.

Commissioner Overland called for questions of Mr. Strecker.

Commissioner Wilts asked where the cars would exit the car wash. Mr. Strecker stated that cars will exit towards Williams Boulevard.

Commissioner Hunse failed to see where the trash enclosure was located. Mr. Strecker stated that it is behind the ice machines at the rear of the building.

Commissioner Overland called for a representative of the applicant.

Brent Dusek, Kwik Trip/Kwik Star, 1626 Oak Street, LaCross, WI stated he would be happy to answer any questions of the Commissioners.

Commissioner Overland called for questions of the applicant.

Commissioner Blank asked if he had spoken with the neighbors. Mr. Dusek stated he did not and did not know if Mr. Dummond had reached out to the neighbors.

Commissioner Hunse asked if they anticipated outside sales of mulch, charcoal, and firewood. Mr. Dusek stated they do occasionally sell firewood.

Commissioner Wilts asked if this would be a 24 hour station. Mr. Dusek stated it would be a 24/7 station.

Commissioner Blank asked if they would have compressed natural gas on site. Mr. Dusek stated no.

Commissioner Pankey asked what the screen fencing would be between the station and the residential property. Mr. Dusek stated that landscaping would be added rather than privacy fencing. Mr. Zakostecky stated that Kwik Trip/Kwik Star had submitted a very extensive landscaping plan and is exceeding the buffering and screening requirements.

Commissioner Knox-Seymour stated that this will be a nice feature for this area. Commissioner Knox-Seymour further stated that she hoped they would reach out to the neighbors. Mr. Dusek stated that when they do start the project, they typically reach out to the neighbors and want to be good neighbors.

Commissioner Overland asked if there was an Ordinance that prohibited stations to stack items near the pumps. Mr. Zakostecky stated there are some restrictions but they are not totally restricted from stacking items.

Commissioner Overland called for members of the public who wished to speak.

Rick Bowman, 2415 Westdale Drive SW asked if there will be a dedicated road off Westdale or would the Kwik Star be using the shared access road that was shared with the bank. Mr. Zakostecky stated that there would only be one access from Westdale. Iowa DOT would not allow an access from Williams Boulevard due to the amount of traffic on that road.

Commissioner Pankey asked if there was a recorded agreement. Mr. Bowman stated he would have to research his files if there was a recorded agreement. Mr. Bowman wanted to make his concern known.

Commissioner Overland called for a motion.

Commissioner Hunse stated he would like to add a condition that no outside sales of merchandise be allowed and if that fails that outside sales be subject to a use permit.

Commissioner Overland called for a motion.

Commissioner Hunse made a motion to approve the Preliminary Site Development Plan in a C-2, Community Commercial Zone District with the added condition that no outside sales of merchandise be allowed.

Commissioner Halverson stated that all the convenience stores have outside sales on merchandise and asked how the City would approach that to enforce these sales. Mr. Zakostecky stated that the City allows for outdoor sales in many stores. This is a bigger discussion and a policy issue.

Commissioner Halverson stated that posing this restriction on this project was unfair and suggested when the code is updated then it would affect all parties.

Commissioner Hunse's motion failed for lack of a second and withdrew the motion.

Commissioner Overland called for a motion. Commissioner Halverson made a motion to approve the Preliminary Site Development Plan in a C-2, Community Commercial Zone District. Commissioner Wilts seconded the motion.

Commissioner Overland called for discussion on the motion.

Commissioner Blank asked about the shared drive issues. Mr. Zakostelecky stated that this is a shared drive and more discussion will take place to make certain all parties are in agreement.

Commissioner Overland called for a vote on the motion. The motion passed unanimously with none opposed.

D. New Business

- a.** Consideration of the proposed Center Point Urban Renewal Area and Plan located at 1427 Center Point Road NE and an Ordinance relating to collection of tax increment within the proposed area (Kirsty Sanchez)

Kirsty Sanchez that City Council has initiated proceedings to consider the creation of the Center Point Urban Renewal Area Plan located at 1427 Center Point Road NE. The proposed Urban Renewal Area is generally located southeast of the intersection of Interstate 380 and 29th Street NE in the City of Cedar Rapids. This district is intended to stimulate private investment through planning and providing land for new and expanding private development and to achieve a well-balanced diversified economy.

The State Code of Iowa requires that prior to City Council adoption of an Urban Renewal Area, the Urban Renewal Plan be referred to the City Planning Commission for review and recommendation *"as to its conformity with the general plan for the development of the municipality as a whole."*

The action requested from Planning Commission at this time is to make a finding regarding the consistency of the proposed Center Point Urban Renewal Plan for the Center Point Urban Renewal Area with the EnvisionCR Comprehensive Plan.

Commissioner Overland called for questions of Ms. Sanchez. No questions were presented.

Commissioner Overland called for a motion. Commissioner Knox-Seymour made a motion to approve the request for a proposed Center Point Urban Renewal Area and Plan. Commissioner Halverson seconded the motion.

Commissioner Overland called for discussion on the motion. No further discussion.

- b.** Consideration of the proposed Creekside Urban Renewal Area and Plan located at 1415 Center Point Road NE and an Ordinance relating to collection of tax increment within the proposed area (Kirsty Sanchez).

Ms. Sanchez stated that City Council has initiated proceedings to consider the creation of the Creekside Urban Renewal Area Plan located at 1415 Center Point Road NE. The proposed

Urban Renewal Area is generally located southeast of the intersection of Interstate 380 and 29th Street NE in the City of Cedar Rapids. This district is intended to stimulate private investment through planning and providing land for new and expanding private development and to achieve a well-balanced diversified economy.

The State Code of Iowa requires that prior to City Council adoption of an Urban Renewal Area, the Urban Renewal Plan be referred to the City Planning Commission for review and recommendation *“as to its conformity with the general plan for the development of the municipality as a whole.”*

The action requested from Planning Commission at this time is to make a finding regarding the consistency of the proposed Creekside Urban Renewal Plan for the Creekside Urban Renewal Area with the EnvisionCR Comprehensive Plan.

Commissioner Overland called for questions of Ms. Sanchez. No questions were presented.

Commissioner Overland called for a motion. Commissioner Hunse made a motion to approve the request for the proposed Creekside Urban Renewal Area and Plan at 1415 Center Point Road NE. Commissioner Wilts seconded the motion.

Commissioner Overland called for discussion on the motion. No further discussion.

Commissioner Overland called for a vote on the motion. The motion passed unanimously with none opposed.

c. Informational presentation and discussion on the Cedar Rapids Draft Historic Preservation Plan (Anne Russett)

Anne Russett reported on the Draft Historic Preservation Plan and its background. In August 2011 the City entered into an MOA with FEMA, SHPO, IHSEMD regarding the demolition of historic properties that resulted from the 2008 flood. The MOA includes 8 mitigation measures, including the preparation of a Historic Preservation Plan

Draft Plan Framework

- Part 1 – Preservation in Cedar Rapids
 - Introduction
 - Vision for Historic Preservation
 - Cedar Rapids Preservation Program
- Part 2 – Preservation Background
 - Historic Preservation Program Components
- Part 3 – The City’s Cultural Resources

Vision for Framework in Cedar Rapids 2025

- Historic properties are integral to life in Cedar Rapids.
- Historic properties convey the humanity of the city.
- A network of individuals and organizations support historic preservation throughout the community.
- Historic preservation is solution oriented.
- Historic preservation looks forward while valuing the past.
- Historic preservation is integrated in planning efforts.

- The City’s historic preservation program is readily accessible.
- The preservation program provides guidance for treatment of historic properties.
- Historic properties are key to the City’s sustainability initiatives.

Key Initiatives

- Incorporate historic preservation into Neighborhood Action Plans and Corridor Action Plans, planning study areas, and other City planning projects.
 - Update Chapter 18 Historic Preservation of the Municipal Code.
 - Update the Guidelines for Cedar Rapids Historic Districts.
 - Update Chapter 32 Zoning of the Municipal Code to better support preservation and consideration of neighborhood character.
-

The following outlines the final step for the development of the Plan:

Step 4. Develop Final Cedar Rapids Historic Preservation Plan

- Revisions based on Stakeholder Feedback
May 2015
- Revise Draft Historic Preservation Plan & Submit to Reviewing Bodies*
May 2015
- Meetings with Community Stakeholders
May & June 2015
- Discussions with the Cedar Rapids Historic Preservation Commission
May & June 2015
- Additional Revisions to Plan based on Feedback from Reviewing Bodies*
June 2015
- Deliver Final Historic Preservation Plan to Reviewing Bodies*
July 2015
- Present Final Preservation Plan to:
August 13, 2015
 - Historic Preservation Commission
 - City Planning Commission
- Present Final Preservation Plan to City Council
September 22, 2015

Commissioner Pankey asked if there was a financial benefit for the City if we have this in place to assist Historic Preservation. Ms. Russett stated that since the City is a Certified Local Government, the city does have access to some grants. In addition, one of the benefits of preservation is that it can increase property values, which would also be an economic benefit to the City. Jeff Hintz with the City’s Community Development Department also added that some granting bodies look for plans, so having a preservation plan could increase the number of grant opportunities.

Commissioner Halverson stated that sometimes the CPC reviews development projects within historic districts. He asked how to ensure compatibility of new projects within these districts and if the plan would address that.

Ms. Russett stated that this is a topic that will be addressed as part of the comprehensive update to Chapter 32 Zoning of the municipal code.

Commissioner Wilts asked what other cities in Iowa have historic preservation plans.

Ms. Russett stated that the City of Iowa City has a historic preservation plan. Mr. Hintz added that preservation plans are not that common.

The meeting was adjourned at 4:33 pm

Respectfully Submitted,

Betty Sheets, Administrative Assistant
Community Development

DRAFT



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5043

STAFF REPORT TO CITY PLANNING COMMISSION
Rezoning W/Preliminary Site Development Plan

CPC Date: June 11, 2015

To: City Planning Commission
From: Development Services Department

Applicant: Meth-Wick Community, Inc.
Titleholder: Meth-Wick Community, Inc.

Location: 1225 13th Street NW
Request: R-3, Single Family Residence Zone District to RMF-2, Multiple Family Residence Zone District

Case Number: RZNE-017699-2015
Case Manager: Vern Zakostelecky

BACKGROUND INFORMATION:

This is a request to rezone a portion of 1.605 acres to the RMF-2 Zoning District. The bulk of the property is already zoned RMF-2. The rezoning and site plan application is to allow for development of a four-story residential structure on the Meth-Wick Community Campus. The property is vacant land with the exception of the parcel proposed for rezoning, which has a single-family home. The home would be demolished if the rezoning and site plan are approved. The proposed structure will have parking, storage units and a lobby on the ground floor and 18 residential units on the other three levels. The site plan as submitted includes the following proposed improvements:

- Total site areas-1.605 acres.
- Total covered area-.648 acres.
- Total open space-.957 acres-.248 acres useable open space (15.5% of total site area).
- Total parking-18 spaces on the ground floor & 19 surface spaces-total spaces 37.
- One access from 13th Street NW & emergency access from Harrison Court NW.
- Solid vinyl 6' fencing.
- Storm water detention basin provided along north and south property line.

FINDINGS:

Section 32.02.030.C.5.e of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

1. Whether the amendment is required to correct a technical mistake in the existing zoning regulations.

Staff Comments: Not applicable.

2. Whether the amendment is consistent with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.

Staff Comments: The subject property is shown as “Urban Medium Intensity” and “Urban High Intensity” on the Future Land Use Map (FLUM) in EnvisionCR, the City’s Comprehensive Plan. These Land Use Typology Areas (LUTAs) should provide for:

a) FORM/USE/INTENSITY CHARACTERISTICS:

- i. Single-family, two-family, and multi-family residential with typical densities between 6 and 40 units/acre allowed.

Staff comments: *The proposed redevelopment of this site is residential at a rate of 11.25 units per acre.*

- ii. Cohesive sign design, with consistency of materials, lighting, and height.

Staff comments: *The proposed building and site will be designed to be compatible with other buildings on the Meth-Wick Campus. The exterior of the building meets the City’s Multi-Family Residential Design Standards.*

- iii. In areas with access to transit, direct pedestrian access from transit stop to business entrances is encouraged.

Staff comments: *The proposed development is on a City bus route and there are bus stops readily available.*

b) LOCATION/COMPATIBILITY CHARACTERISTICS:

- i. Reasonable access or location on collector or arterial streets.

Staff comments: *The proposed development site has close access to O and F Avenue NW which are minor arterial streets.*

- ii. Compatibility may be achieved with density and land use transitions.

Staff comments: *This proposed development would provide a transition in density between the single family residential across Harrison Court NW and the Meth-Wick Community to the west.*

- iii. Convenient access or integration into neighborhood and/or community commercial services.

Staff comment: *This development will provide additional senior housing that will have access to the amenities to the Meth-With Community Campus.*

c) SERVICE AND INFRASTRUCTURE CONSIDERATIONS:

- i. Full urban services.

Staff comments: *This is an older developed and redeveloping part of the City, which is already provided with all facilities and services, including sewage and waste disposal, water, gas, electricity, police and fire protection, and sidewalks will be constructed and installed by the developer and the proposed change in*

use will not negatively impact the levels of service to existing development in the general area. The development is relative close to Diagonal Drive/8th Avenue, which is on a bus route and is just across the river from a hard surfaced trail and next to a future trail. The proposed development is within walking distance to the east side downtown area.

- ii. Convenient local access to surrounding neighborhoods with design that discourages external traffic.

Staff comments: The access is proposed off 13th Street NW, which is an internal access road for the Meth-Wick Community Campus. Direct access from Harrison Court NW, a public street is only for emergency services.

- iii. Transit and bicycle access.

Staff comment: The proposed development is on a bus route and a future on-street bicycle trail.

Based on the fact this property being designed “Urban Medium Intensity” and “Urban High Intensity”, and the analysis above of the “Land Use Criteria and Descriptions” in the Comprehensive Plan, the requested zone change is in accord with the FLUM and the Goals and Objectives of the City’s Comprehensive Plan.

3. Whether the amendment is consistent with the characteristics of the surrounding area, including any changing conditions.

Staff Comments: The surrounding land uses include Harrison Elementary School to the north, the Meth-Wick Community Campus to the west and south and single-family residential to the east. The proposed development is consistent with goals and objective of the City Council and the Comprehensive Plan since it provides a transition in housing density and is an in-fill site.

4. Whether the property is suitable for all of the uses permitted in the proposed district.

Staff Comments: The property is currently undeveloped with the exception of one single-family home. The proposed use is in-fill development and provides an additional housing option on the Meth-Wick Community Campus. The property and propose development is perfectly suitable for all uses permitted in the RMF-2 Zoning District.

5. Whether the proposed amendment will protect existing neighborhoods from nearby development at heights and densities that are out of scale with the existing neighborhood.

Staff Comment: The proposed rezoning request and redevelopment will protect the existing neighborhood from nearby development at heights and densities that are out of scale with the existing neighborhood.

6. Whether facilities and services (including sewage and waste disposal, water, gas, electricity, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development.

Staff Comments: The surrounding land is currently developed, so the property requested for rezoning is served by all City services. All facilities and services includes public and private utilities, City service such as police and fire protection, solid waste/recycling service, bus service, and street maintenance are readily available. Adequate levels of service to the existing neighborhood will not be affected.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed rezoning, adoption of the following conditions as recommended by City Departments should be considered. The City Planning Commission may approve with additional conditions.

1. Said lots are to be combined so as to constitute a single zoning lot and tax parcel.
2. All lighting shall be of a type, design and placement, and also be shielded in a manner to minimize impact on residential properties or uses adjacent to or immediately across the street.
3. A fence within the front yard setback cannot be more than 3' in height without approval of a variance by the City's Board of Adjustment.
4. A separate building permit must be obtained for any retaining wall that exceeds 48" in height.
5. The site and building design will need to comply with the Zoning Ordinance Multi-Family Residential Design Standards, Subsection 32.05.030.D. (see attached).
6. Landscaping and buffering/screening shall be provided per the Zoning Ordinance, Subsection 32.05.030.A.
7. Historic Preservation Commission review for structures 50-years old or older proposed for demolition is required subject to Chapter 18 of the City's Municipal Code, Subsection 18.10.
8. The existing structures must be removed under appropriate permit and inspections conducted and approved.
9. The site will need to be developed providing useable open space as required by the Zoning Ordinance, Subsection 32.05.01.B.4. and Table 32.05-1.



Front Elevation



Rear Elevation



Left Elevation



Right Elevation



Community Development Department
City Hall
101 First Street SE
Cedar Rapids, IA 52401
Telephone: (319) 286-5168

STAFF REPORT TO CITY PLANNING COMMISSION
Conditional Use

CPC Date: June 11, 2015

To: City Planning Commission
From: Development Services Department

Applicant: Robert and Jitka Schaffer
Titleholder: Robert and Jitka Schaffer

Location: 100 16th Avenue SW, 1510 "C" Street SW & vacant land to the Southwest
Request: Consider of a Conditional Use approval for a Ground-Floor Dwelling Unit in a C-3, Regional Commercial Zone District

Case Manager: Dave Houg, Development Services Department
Case Number: COND-018013-2015

BACKGROUND INFORMATION:

The titleholders for the property, Robert and Jitka Schaffer, are requesting a Conditional Use to allow for a dwelling unit located on the ground floor in a C-3, Regional Commercial Zone District as part of a proposal to construct a 2-story mixed-use building at 100 16th Avenue SW near the Czech Village. The project will add 7 residential units to the site and will provide 4,981 s. f. of commercial space on the ground floor.

Residential units above the ground floor are allowed in all commercial districts per the Municipal Code. The Planning Commission is being asked to weigh in on whether a residential unit on the ground floor is appropriate for this site.

Site Area – 22,000 s. f.
Proposed Building Area – 5,765 s. f.
Proposed Building Size – 11,530 s. f. on 2 floors
Building Use – 4,981 s. f. commercial space
 – 6,549 s. f. residential (7 units)
Parking – Required: 15
 – Proposed: 15

FINDINGS:

Section 32.02.030.D. of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. That the Conditional Use applied for is permitted in the district within which the property is located.**

Staff Comments: Dwelling units on the ground floor are permitted in the C-3 Zoning District by approval of a Conditional Use.

- 2. That the proposed use and development will be consistent with the intent and purpose of this Ordinance and with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.**

Staff Comments: The Future Land Use Map of the City's Comprehensive Plan designates the property as Commercial. The uses proposed are allowed in C-3, and City Code allows for mixed use buildings. The proposed site plan would add a residential unit on the ground floor at the rear of the building, allowing for the construction of residential units without requiring an elevator.

- 3. That the proposed use and development will not have a substantial adverse effect upon adjacent property, and the character of the neighborhood, traffic conditions, parking, utility and service facilities, and other factors affecting the public health, safety, and welfare.**

Staff Comments: Staff feels the proposed development is in line with what is appropriate for a Core Area commercial neighborhood.

- 4. That the proposed development or use will be located, designed, constructed and operated in such a manner that it will be compatible with the immediate neighborhood and will not interfere with the orderly use, development and improvement of surrounding property.**

Staff Comments: Immediately surrounding the site are two mixed use corridors (16th Avenue and C Street SW). An alley to the south separates the site from residential development. A variance will be required for a proposed reduction in the depth of the buffer-yard along the westerly lot line.

- 5. That adequate measures have been or will be taken to assure adequate access designed to minimize traffic congestion and to assure adequate service by essential public services and facilities including utilities, storm water drainage, and similar facilities.**

Staff Comments: Staff does not feel that the proposed development will create traffic issues, and no other infrastructure issues were raised. Staff will ensure that the applicant obtains a variance or complies with buffer and screening requirements prior to approval of a final Administrative Site Development Plan.

- 6. That the proposed building, development, or use will comply with any additional standards imposed on it by provisions of this Ordinance for the district in which the property is located.**

Staff Comments: The proposal will be reviewed by the Czech Bohemia Overlay District Design Review Technical Advisory Committee (DRTAC). Staff will provide the Board of Adjustment any recommendations.

- 7. Whether, and to what extent, all reasonable steps possible have been, or will be, taken to minimize any potential adverse effects on the surrounding property through building design, site design, landscaping, and screening.**

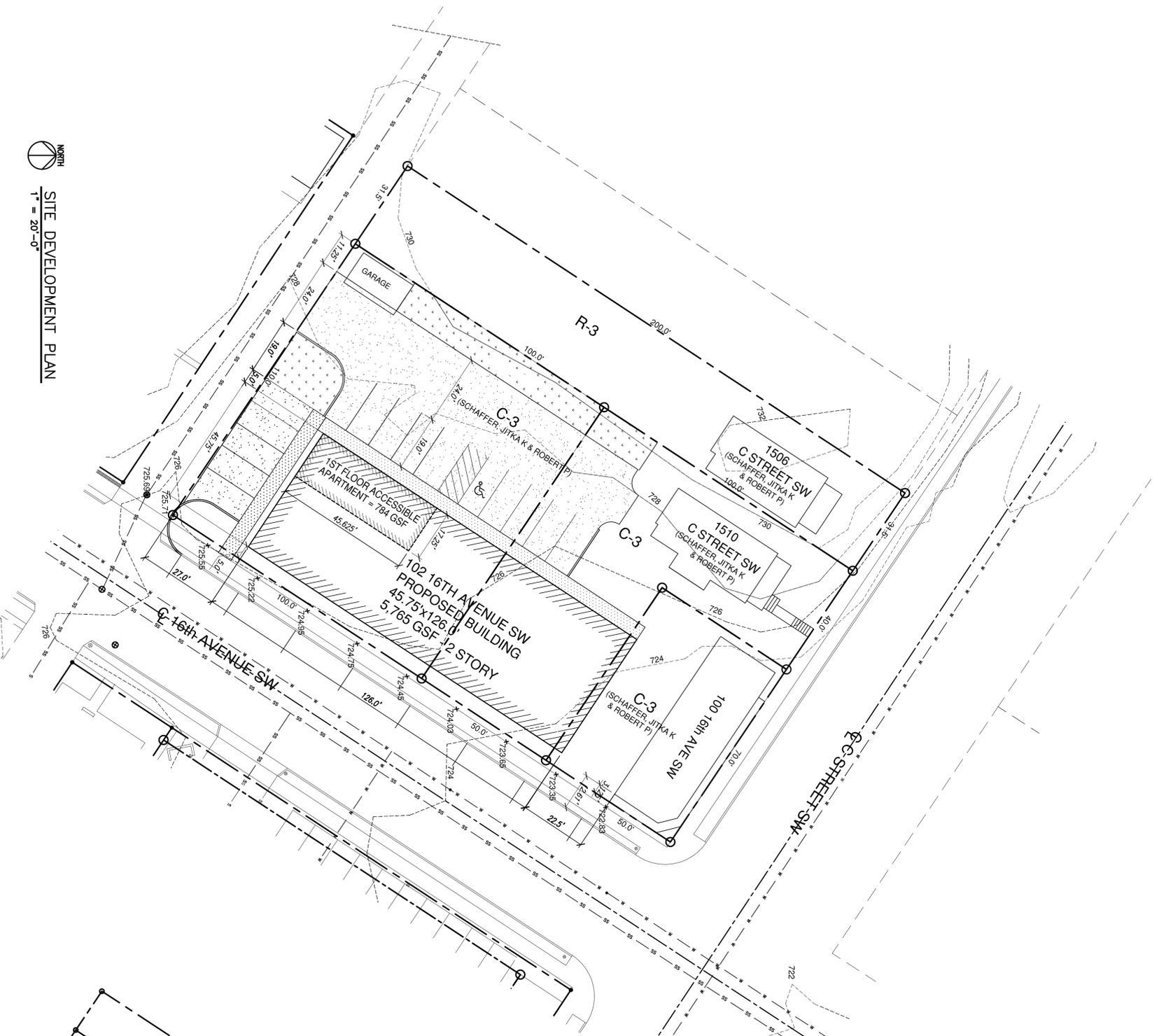
Staff Comments: The applicant will be responsible for the recommended conditions and will provide screening as required by the City Zoning Ordinance or obtain a variance.

RECOMMENDED CONDITIONS:

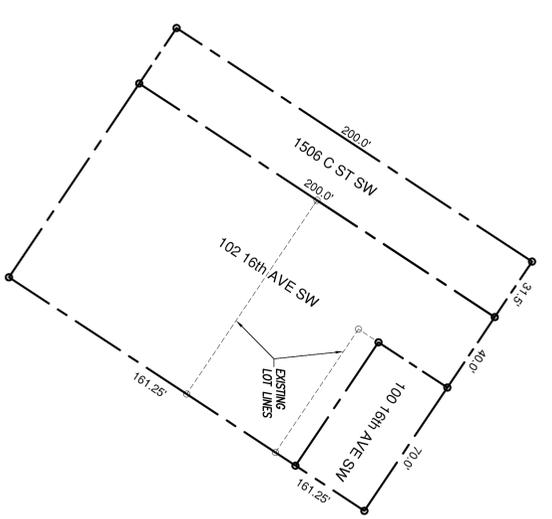
If the City Planning Commission recommends approval of the proposed conditional use, adoption of the following conditions as recommended by City Departments should be considered. The City Planning Commission may approve with additional conditions or remove any of the recommended conditions (Chapter 32.02.020.I).

1. Said lots are to be combined so as to constitute a single zoning lot and tax parcel.
2. Subject property shall be platted per State and City platting regulations.
3. Design guidelines and standards as specified in Subsection 32.05.030.C. shall be met or a variance must be obtained.
4. A bufferyard and screening shall be provided and maintained where adjacent to a single-family residential zoning district or a variance must be obtained. .
5. Review of this proposal is required by the Czech Bohemia Overlay District Design Review Technical Advisory Committee.
6. Lighting fixtures shall be shielded in a manner that shall not direct illumination on adjacent residential properties, or on any public right-of-way as per Subsection 32.05.030.B. of the Zoning Ordinance.
7. The enclosure for the dumpster will need be a full screen enclosure including the gates and preferably designed using the same building material as the principal building as per Subsection 32.05.030.A.7. of the Zoning Ordinance. Please note that chain link with privacy slats does not satisfy this requirement.
8. Enclosures and/or screening shall be provided for all HVAC, trash, recycling, cardboard, mechanical equipment, and grease and similar service or support containers as per Subsection 32.05.030.A.7. of the Zoning Ordinance. The location and design of each enclosure shall be shown on the Administrative Site Plan and shall be approved prior to issuance of structural building permits. Preliminary building permits for site preparation, installation of utilities, and foundations may be issued prior to approval of the enclosure. Please note that chain link with privacy slats does not satisfy this requirement.
9. Signage is not being reviewed at this time. Sign permit applications must be submitted and approved and permits obtained prior to erection of signage (Subsection 32.06.020 & 32.06.030 is the sign regulation in the Zoning Ordinance).
10. That all parking, drives, and storage areas be surfaced per provisions of the Zoning Ordinance. Surfacing to include asphalt, concrete, brick or asphaltic macadam.

11. Roof top mechanicals shall be screened so as not to be visible from the street. Screening is not required for the top of the roof-top mechanicals. Acceptable exterior wall materials are brick, stone, and split face block masonry, cementitious siding, EIFS, glass, metal (flat, perforated, composite, or ribbed less than 8" OC), architectural paneling, or other similar high quality materials.



NORTH
SITE DEVELOPMENT PLAN
1" = 20'-0"

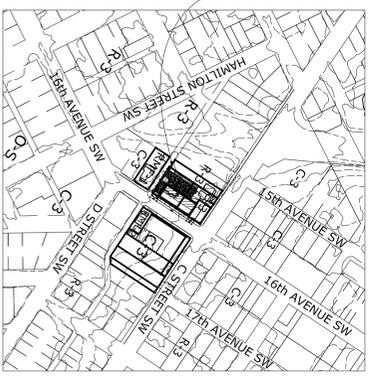


NORTH
PROPOSED RECONFIGURATION OF LOTS
NOT TO SCALE

DIMENSIONAL STANDARDS	
CURRENT ZONING:	C-3
MIN. LOT SIZE:	800 S.F.
MINIMUM LOT WIDTH:	50 FT.
LOT SIZE:	
TOTAL EXISTING BUILDING AREAS:	
TOTAL PROPOSED BUILDING AREAS:	5,765 SQ. FT.
PROPOSED BUILDING USE:	
LOWER LEVEL	(1) RESIDENTIAL APARTMENT: 784 G.S.F.
RETAIL	: 4,981 G.S.F.
UPPER LEVEL	(6) RESIDENTIAL APARTMENTS: 5,765 G.S.F.
TOTAL BUILDING AREAS:	
TOTAL HARD SURFACE:	
TOTAL GREEN SPACE:	
MINIMUM YARD SETBACK FOR CORE AREA:	
FRONT YARD:	0 FT.
INTERIOR SIDE YARD:	0 FT.
REAR YARD:	0 FT.
MAXIMUM HEIGHT:	100 FT.

PARKING SPACES REQUIRED:	
LAND USE: RESIDENTIAL USES	
DWELLING UNITS ON GROUND FLOOR: 2 PER D.U.	
DWELLING UNITS ABOVE GROUND FLOOR: 1.5 PER D.U.	
PARKING SPACES REQUIRED: (6) (1.5) + (1) (2) = 11	
LAND USE: COMMERCIAL USES	
RETAIL: 1 PER 300 SF GFA	
PARKING SPACES REQUIRED = (4903/300) = 16	
PARKING SPACES REQUIRED: 27	
ALLOWABLE REDUCTIONS IN PARKING SPACES	
ON STREET PARKING ADJACENT TO BUILDING:	= 7 SPACES
10% REDUCTION FOR 32.05.029 B.6.g: (0.10) * 23 = 2 SPACES	
REDUCTION FOR 32.05.029 B.6.i:	= 1 SPACE
5% REDUCTION FOR 32.05.029 B.6.j:	= 1 SPACE
5% REDUCTION FOR 32.05.029 B.6.l:	= 1 SPACE
TOTAL REDUCTION OF OFF STREET PARKING:	12 SPACES
TOTAL PARKING SPACES REQUIRED: 27 - 12 = 15 SPACES	
TOTAL PARKING SPACES PROVIDED:	15 SPACES

BENCHMARK = 1st FLOOR ELEVATION
OF 101 16th AVENUE SW = 725.10



NORTH
LOCATION MAP
1" = 300'-0"



REV.	REVISION:	DATE:	INIT.	CHK.

PROJECT:
VILLAGE WEST APARTMENTS
102 16TH AVENUE SW
CEDAR RAPIDS, IOWA

DRAWING TITLE:
SITE PLAN
CONDITIONAL USE APPLICATION

SCALE: AS NOTED
CHECKED BY:
DRAWN BY:
PROJECT NO.: 14654
ISSUE DATE: 04/21/15

DRAWING NUMBER
C1



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5168

STAFF REPORT TO CITY PLANNING COMMISSION
Conditional Use with a Preliminary Site Development Plan

CPC Date: June 11 2015

To: City Planning Commission
From: Development Services Department

Applicant: Clock House, LLC
Titleholder: Clock House, LLC

Location: 600 First Street SE
Request: Conditional Use approval for an Outdoor Service Area in the C-4, Central Business Zone District

Case Manager: Dave Houg, Development Services Department
Case Number: COND-018044-2015

BACKGROUND INFORMATION:

This is to certify that Development Services staff has examined the petition of Clock House, LLC requesting a Conditional Use approval for an “Outdoor Service Area” for property owned by Clock House, L.L.C. at 600 First Street SE and zoned C-4, Central Business Zone District.

GENERAL INFORMATION:

Appellant is requesting approval for the service of alcohol on a proposed outdoor patio as part of the renovation of the former Great Furniture Mart into a mixed-use development.

The site plan submitted shows the following characteristics:

- Total area of building footprint: 12,315 s. f.
- Total size of proposed outdoor service area: approximately 2,500 s. f.
- Total parking required: none required in the C-4 District
- Total parking provided: 77 spaces (63 surface & 14 underground)

After careful review, the staff has prepared the following findings in accord with Section 32.02.030.D. of the Zoning Ordinance:

FINDINGS:

Section 32.02.030.D.9 of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. That the conditional use applied for is permitted in the district within which the property is located.**

Staff Comments: The conditional use as requested is permitted within the C-4, Central Business Zone District.

- 2. That the proposed use and development will be consistent with the intent and purpose of this Ordinance and with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.**

Staff Comments: The proposed site plan conforms to regulations established in Chapter 32 of the Municipal Code, the City's Zoning Ordinance and the goals and objectives of the Future Land Use Map in City's Comprehensive Plan.

- 3. That the proposed use and development will not have a substantial adverse effect upon adjacent property, and the character of the neighborhood, traffic conditions, parking, utility and service facilities, and other factors affecting the public health, safety, and welfare.**

Staff Comments: This Conditional Use request for an outdoor service area has limited potential to be disruptive to the adjacent commercial properties. Conversely the area most likely will be an amenity to the surrounding area.

- 4. That the proposed development or use will be located, designed, constructed and operated in such a manner that it will be compatible with the immediate neighborhood and will not interfere with the orderly use, development and improvement of surrounding property.**

Staff Comments: The outdoor service area is not expected to interfere with the use, development or improvement of surrounding properties.

- 5. That adequate measures have been or will be taken to assure adequate access designed to minimize traffic congestion and to assure adequate service by essential public services and facilities including utilities, storm water drainage, and similar facilities.**

Staff Comments: All City services and utilities are currently available to serve the lot. The addition of an outdoor service area is not expected to have any negative impact on City services or traffic.

- 6. That the proposed building, development, or use will comply with any additional standards imposed on it by provisions of this Ordinance for the district in which the property is located.**

Staff Comments: The proposed development will comply with all additional standards from the Ordinance.

- 7. Whether, and to what extent, all reasonable steps possible have been, or will be, taken to minimize any potential adverse effects on the surrounding property through building design, site design, landscaping, and screening.**

Staff Comments: The applicant will be responsible for compliance with the conditions and will take necessary steps as required by the City Zoning Ordinance to minimize any potential adverse impacts.

- 8. The Site Development Plan is consistent with the previously approved Preliminary Plans for the property (if applicable)**

Staff comments: This plan is consistent with previously-approved site development plans for the site.

- 9. The Site Development Plan conforms to all applicable requirements of this Ordinance.**

Staff comments: The site development plan conforms to all applicable requirements of this Ordinance.

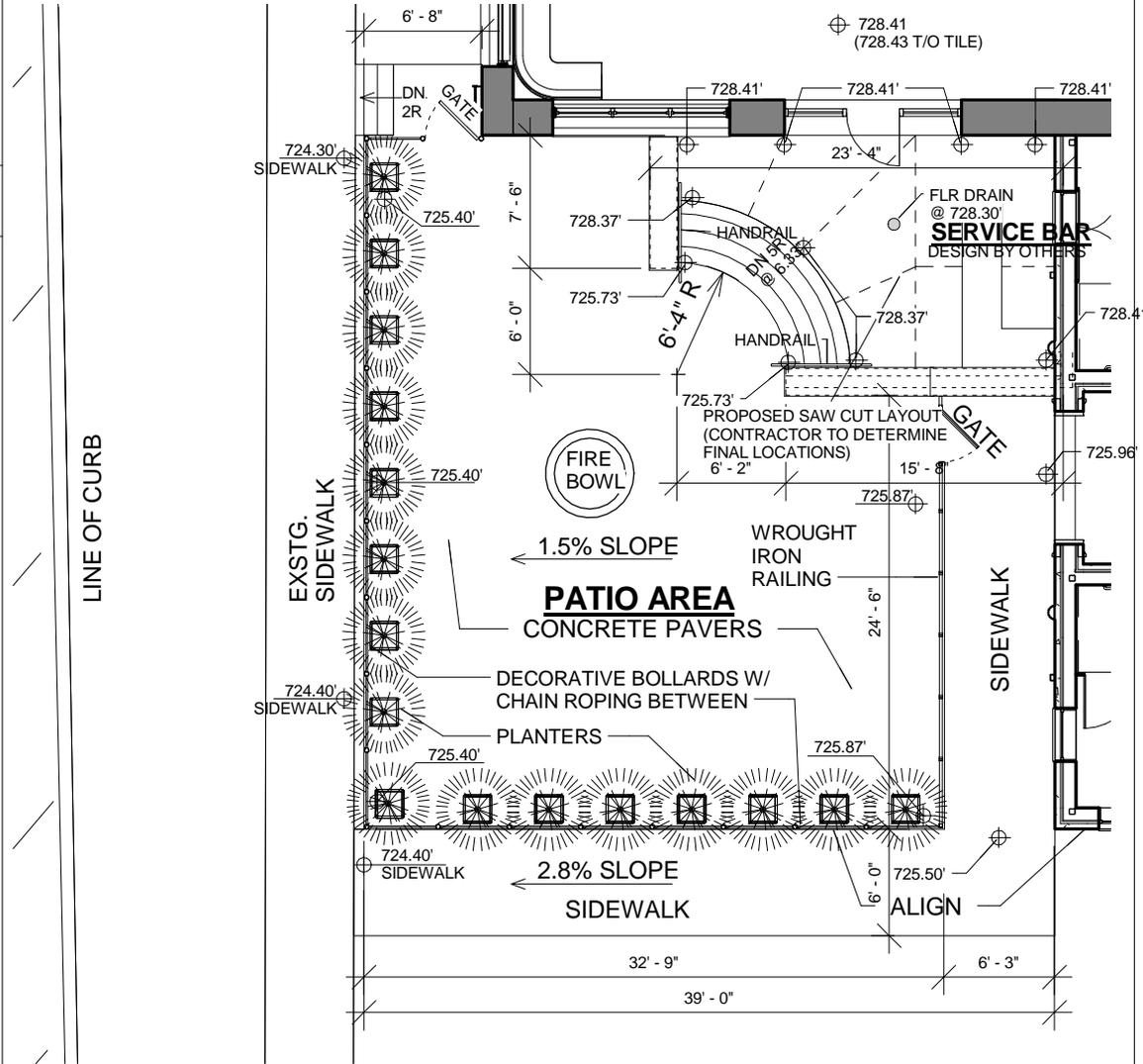
If the Commission determines to recommend approval of the proposed conditional use, adoption of the following conditions as recommended by staff should be considered:

RECOMMENDED CONDITIONS:

1. Buildings/appurtenances shall not encroach upon right-of-way without obtaining appropriate approval.
2. No amplified outdoor music such as bands, karaoke, and public address systems, etc. shall be allowed in the outdoor service area.
3. That the current project is not complete and fencing and a gate must still be installed. The gate must meet all Fire Department regulations related to entry/egress points. The gate shall be used only as an emergency entry/egress route unless the beer garden is staffed continually during normal business hours.
4. That the outdoor service area must have fencing. The fencing requirements, for an outdoor service area with limited staffing, must be of sufficient height to deter the passing of alcoholic beverages over the top of the fence. The fence must also be designed in such a manner as to prohibit the passing of alcoholic beverages through it. The fencing requirements, for an outdoor service area that is staffed full time during normal business hours, can vary some from the above requirements. For those outdoor service areas a specific fence design must be submitted and it will be evaluated on a case-by-case basis.
5. That the Police Department shall re-inspect the outdoor service area PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.



FENCE - AXION VIEW



1 PATIO PLAN

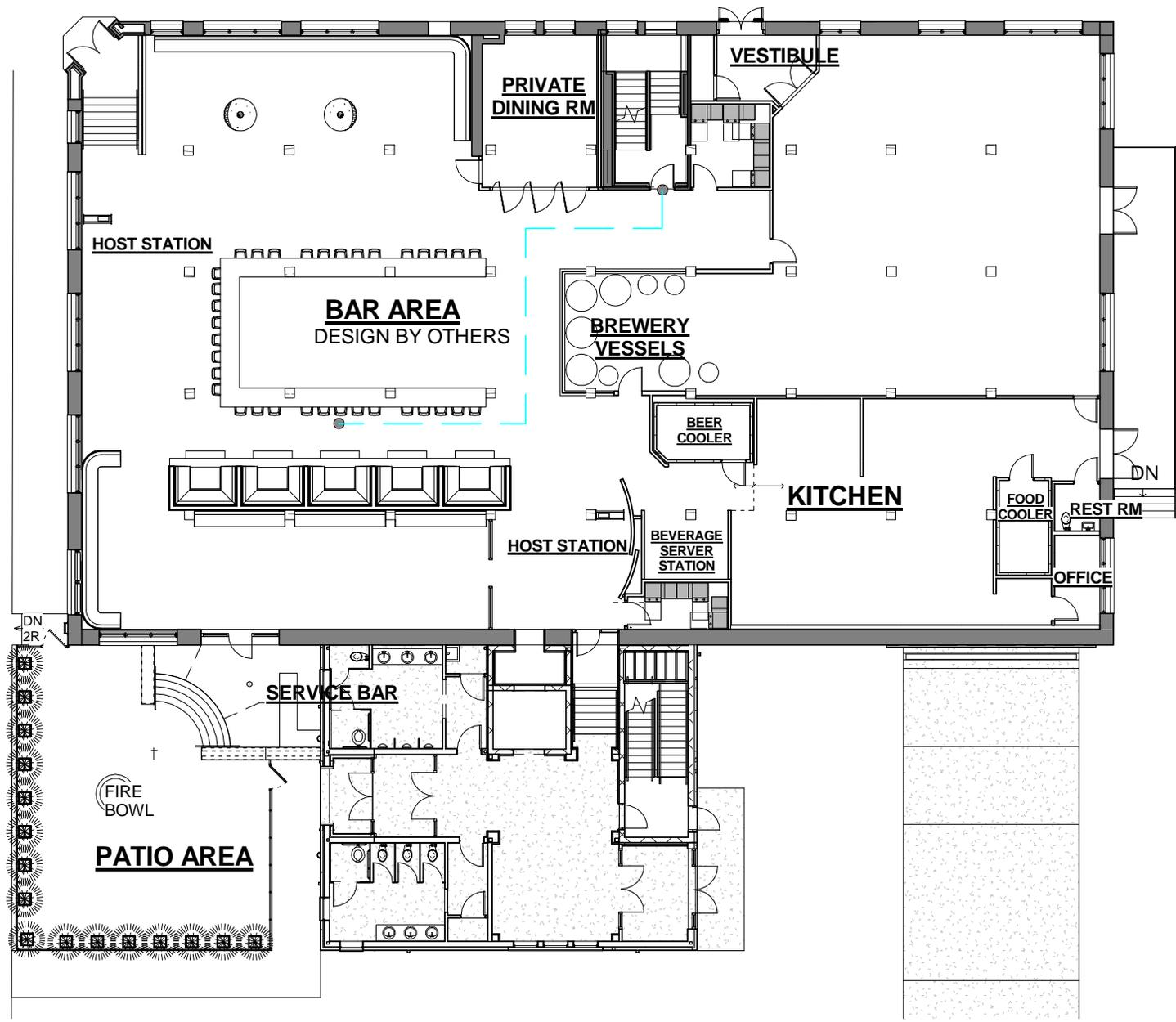
SD-02 3/32" = 1'-0"

BLACK SHEEP
RESTAURANT
SUITE 1A 600
1ST STREET

PATIO PLAN

Project number	14-22300	Author	Checker	Scale	3/32" = 1'-0"
Date	04.29.15	Drawn by	Checked by		





1 RESTAURANT - PRESENT PLAN
 SD-01 1" = 20'-0"

BLACK SHEEP
 RESTAURANT
 SUITE 1A 600
 1ST STREET

OVERALL FLOOR PLAN

Project number	14-22300
Date	04.29.15
Drawn by	Author
Checked by	Checker
Scale 1" = 20'-0"	







Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
(319) 286-5043

STAFF REPORT TO CITY PLANNING COMMISSION
Preliminary Site Development Plan

CPC Date: June 11, 2013

To: City Planning Commission
From: Development Services Department

Applicant: Kingston Lofts, LLC
Titleholder: Kingston Lofts, LLC

Location: 200, 210 and 212 3rd Avenue SW
Request: Approval of a Preliminary Site Development Plan in a C-3, Regional Commercial Zone District

Case Manager: Vern Zakostelecky, Development Services Department
Case Number: PSDP-018873-2015

BACKGROUND INFORMATION:

The applicant is requesting Preliminary Site Development Plan approval for the property which are vacant lots formerly developed commercially. The former buildings were demolished due to extensive damage from the Flood of 2008. The proposed improvements on the property are construction of a four story residential condo building with parking on the ground level. Since there are no residential units on the ground floor a conditional use is not required. The property is currently zoned C-3, Regional Commercial Zone District.

The Preliminary Site Development Plan as submitted includes the following:

- Total site area-25,252 s. f. (.58 acres).
- Total building footprint-12,634 s. f.
- Total open space-5,522 s. f. (21.9% of total site area).
- Total parking spaces provided required-39, provided-52 spaces including 2 van-accessible spaces.
- Access is provided from 3rd Ave. SW and the public alley.
- Storm water management areas will be provided in a rain garden and bio-cell.

FINDINGS:

Section 32.02.030.G.7 of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

1. The Site Development Plan is consistent with the previously approved Preliminary Plans for the property (if applicable)

Staff comments: This Finding does not apply since there were not previously approved site plans for this site.

2. The Site Development Plan conforms to all applicable requirements of this Ordinance.

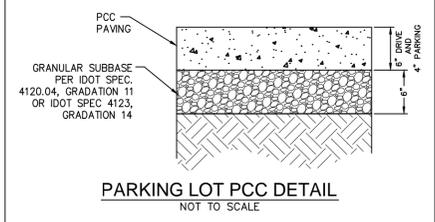
Staff comments: The site development plan conforms to all applicable requirements of the City's Zoning Ordinance, provided the building is designed to meet the requirements of the adopted Multi-Family Residential Design Standards and the Design Standards of the Kingston Village Overlay District.

The Design Review Technical Advisory Committee for the Kingston Overlay District has reviewed the development plans for this project and recommends approval.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed preliminary site development plan, adoption of the following conditions as recommended by City Departments should be considered. The City Planning Commission may approve with additional conditions or remove any of the recommended conditions.

1. That this site shall be developed in compliance with the provisions of the Flood Plain Management Ordinance.
2. The project requires review by the Kingston Village Overlay District Design Review Technical Advisory Committee.
3. Said lots are to be combined so as to constitute a single zoning lot and tax parcel.
4. Required off-street parking shall be provided per provisions of the Zoning Ordinance or a variance be obtained.
5. That an internal sidewalk access be provided to public sidewalks.
6. The site and building design will need to comply with the Zoning Ordinance Multi-Family Residential Design Standards, Subsection 32.05.030.D.
7. Enclosures and/or screening shall be provided for all HVAC, trash, recycling, cardboard, mechanical equipment, and grease and similar service or support containers as per Subsection 32.05.030.A.7. of the Zoning Ordinance. The location and design of each enclosure shall be shown on the Administrative Site Plan and shall be approved prior to issuance of structural building permits. Preliminary building permits for site preparation, installation of utilities, and foundations may be issued prior to approval of the enclosure. Please note that chain link with privacy slats does not satisfy this requirement.
8. Design guidelines and standards as specified in Subsection 32.05.030.C. shall be met or a variance must be obtained.
9. Roof top mechanicals shall be screened so as not to be visible from the street. Screening is not required for the top of the roof-top mechanicals. Acceptable exterior wall materials are brick, stone, and split face block masonry, cementitious siding, EIFS, glass, metal (flat, perforated, composite, or ribbed less than 8" OC), architectural paneling, or other similar high quality materials.



UTILITY NOTES:

1. VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC.
2. SITE UTILITY CONTRACTOR TO EXTEND AND CAP ALL PIPING TO WITHIN 5' OF BUILDING FOR CONNECTION BY BUILDING UTILITY CONTRACTOR UNLESS OTHERWISE INDICATED. COORDINATE ALL INVERT ELEVATIONS AND PIPING LOCATIONS WITH EXISTING CONDITIONS.
3. SITE UTILITY CONTRACTOR SHALL MAKE PROVISIONS TO HANDLE WATER ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE OF THE PROPOSED METHOD OF DEWATERING.

STORM SEWER NOTES:

1. THE CONTRACTOR WILL MAINTAIN A RECORD DRAWING SET WITH WITNESS DIMENSIONS TO ALL CONNECTIONS. THESE DRAWINGS WILL BE SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE.

PAVEMENT MARKING NOTES:

1. PAVEMENT MARKINGS TO BE IN COMPLIANCE WITH THE CURRENT MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
2. PAINT PARKING STRIPING AND SIDEWALK CURBS PER LOCAL REQUIREMENTS WHERE SHOWN ON PLANS.
3. PAINT TRAFFIC DIRECTION ARROWS, HANDICAP SYMBOLS AND FACE OF LIGHT POLE BASES "TRAFFIC WHITE" PER LOCAL REQUIREMENTS WHERE SHOWN ON PLANS.
4. PAVEMENT MARKINGS SHALL BE ONLY FAST DRY TRAFFIC LANE MARKING PAINT CONFORMING TO IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST EDITION, SECTION 4183.03.
5. APPLY PAINT AT MANUFACTURER'S RECOMMENDED RATES IN TWO SEPARATE COATS FOR ALL PAVEMENT MARKINGS. ALL STRIPES ARE 4 INCHES WIDE UNLESS OTHERWISE INDICATED. HANDICAP SYMBOLS SHALL CONFORM TO APPLICABLE ADA REGULATIONS.

PAVEMENT GENERAL NOTES:

1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH GRADING NOTES.
3. GRANULAR SUBBASE FOR STANDARD CONCRETE PAVEMENTS SHALL MEET THE LIMITS OF GRADATION PER DOT SPEC. 4120.04, GRADATION 11 OR IDOT SPEC 4123, GRADATION 14
4. ALL PAVEMENT REMOVALS SHALL BE REMOVED AND REPLACED TO THE NEAREST EXISTING JOINT LINE

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF CEDAR RAPIDS STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
2. THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THESE DRAWINGS ARE APPROXIMATE ONLY, AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO HALL & HALL ENGINEERS, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO HALL & HALL, INC. AND NOT SHOWN IN THESE DRAWINGS. THE VERIFICATION AND EXISTENCE OF, AND THE DETERMINATION OF THE EXACT LOCATION OF, UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).
3. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAYBE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. CONTRACTOR SHALL CALL IOWA ONE CALL FOR UTILITY LOCATES AT (800) 292-8989.
4. NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
6. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
7. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
9. ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE FOR UTILITIES THAT ARE NOT TO BE ABANDONED OR REMOVED. COORDINATE WITH APPROPRIATE UTILITY OWNER.
10. CONTRACTOR SHALL REFER TO BUILDING PLANS FOR BUILDING DIMENSIONS, STOOP SIZES AND LOCATIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
11. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA AT THE CONTRACTOR'S EXPENSE.
12. ALL DISTANCES ARE MEASURED FROM CENTER OF STRUCTURES.
13. ALL UTILITY WORK TO BE COORDINATED WITH THE APPROPRIATE COMPANIES PRIOR TO START OF CONSTRUCTION.

SITE PREPARATION NOTES:

1. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
2. KEEP ADJACENT PUBLIC STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS, SIDEWALKS, ETC. ON A DAILY BASIS.
3. SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.

GRADING NOTES:

1. STRIP EXISTING TOPSOIL TO A MIN. DEPTH OF 6". STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL NOT TO BE USED SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
2. PROOF-ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. PROOF-ROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT. EXPOSED SUBGRADE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE CITY'S REPRESENTATIVE OR ENGINEER OF RECORD.
3. FILL AREAS WITHIN STREETS AND AREAS OF 4' OR GREATER FILLS WITHIN BUILDING AREAS AS SHOWN ON THE GRADING PLAN REQUIRE SOIL TESTING BY AN APPROVED GEOTECHNICAL FIRM. THESE AREAS TO RECEIVE STRUCTURAL FILL AND TESTING PER LOCAL BUILDING DEPARTMENT REQUIREMENTS. PROVIDE TESTING RESULTS TO OWNER AND ENGINEER OF RECORD.
4. SCARIFY AND RE-COMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETE. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY. FOLLOWING UTILITY INSTALLATIONS THE UPPER 12" OF SUBGRADE WITHIN ROADWAYS AND BUILDING AREAS SHALL BE STRIPPED AND RE-COMPACTED TO 98% STANDARD DRY DENSITY (ASTM6099) IN TWO 6" LIFTS.
5. THE UPPER 12 INCHES OF SUBGRADE SHALL CONSIST OF A LOW-PLASTICITY COHESIVE SOIL, OR GRANULAR MATERIAL. IF FAT CLAY EXIST AT THE SUBGRADE ELEVATION, LIME OR CLASS C FLY ASH COULD BE INCORPORATED INTO THE SOIL TO REDUCE ITS PLASTICITY. THE UNDERLYING FAT CLAY SHOULD NOT BE ALLOWED TO DESICATE; THE SOIL SHOULD BE MAINTAINED AT 0 TO +4 PERCENT OF THE SOILS OPTIMUM MOISTURE VALUE.
6. UNSUITABLE AREAS OBSERVED SHALL BE IMPROVED BY COMPACTION OR BY UNDERCUTTING AND REPLACING WITH SUITABLE COMPACTED FILL.
7. CONTRACTOR SHALL REPEAT SCARIFICATION, RECOMPACTION, AND TESTING AS MANY TIMES AS NEEDED TO OBTAIN SPECIFIED DENSITY.
8. COORDINATE CLEARING AND GRUBBING LIMITS, DEBRIS STOCKPILE LOCATIONS AND DEBRIS DISPOSAL WITH OWNER.
9. CONTRACTOR SHALL STRIP ALL ORGANIC MATERIAL WITHIN GRADING LIMITS. REFER TO SUDAS SPECS FOR ALL OTHER GRADING REQUIREMENTS.

PCC PAVEMENT NOTES:

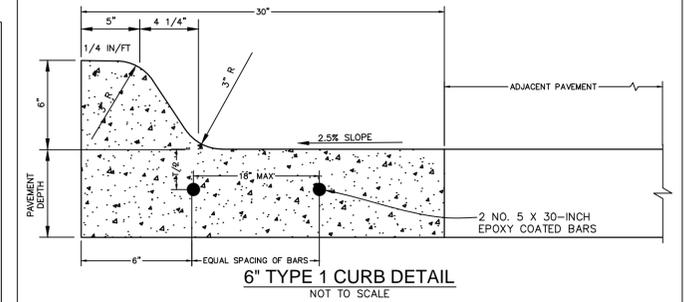
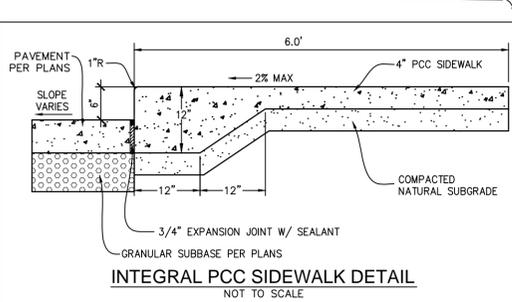
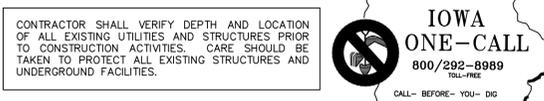
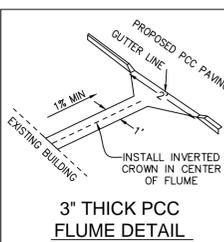
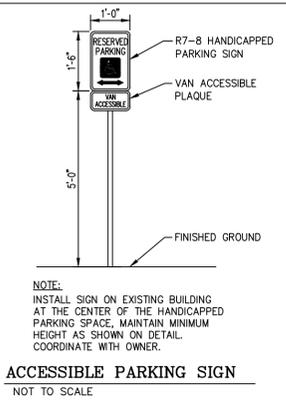
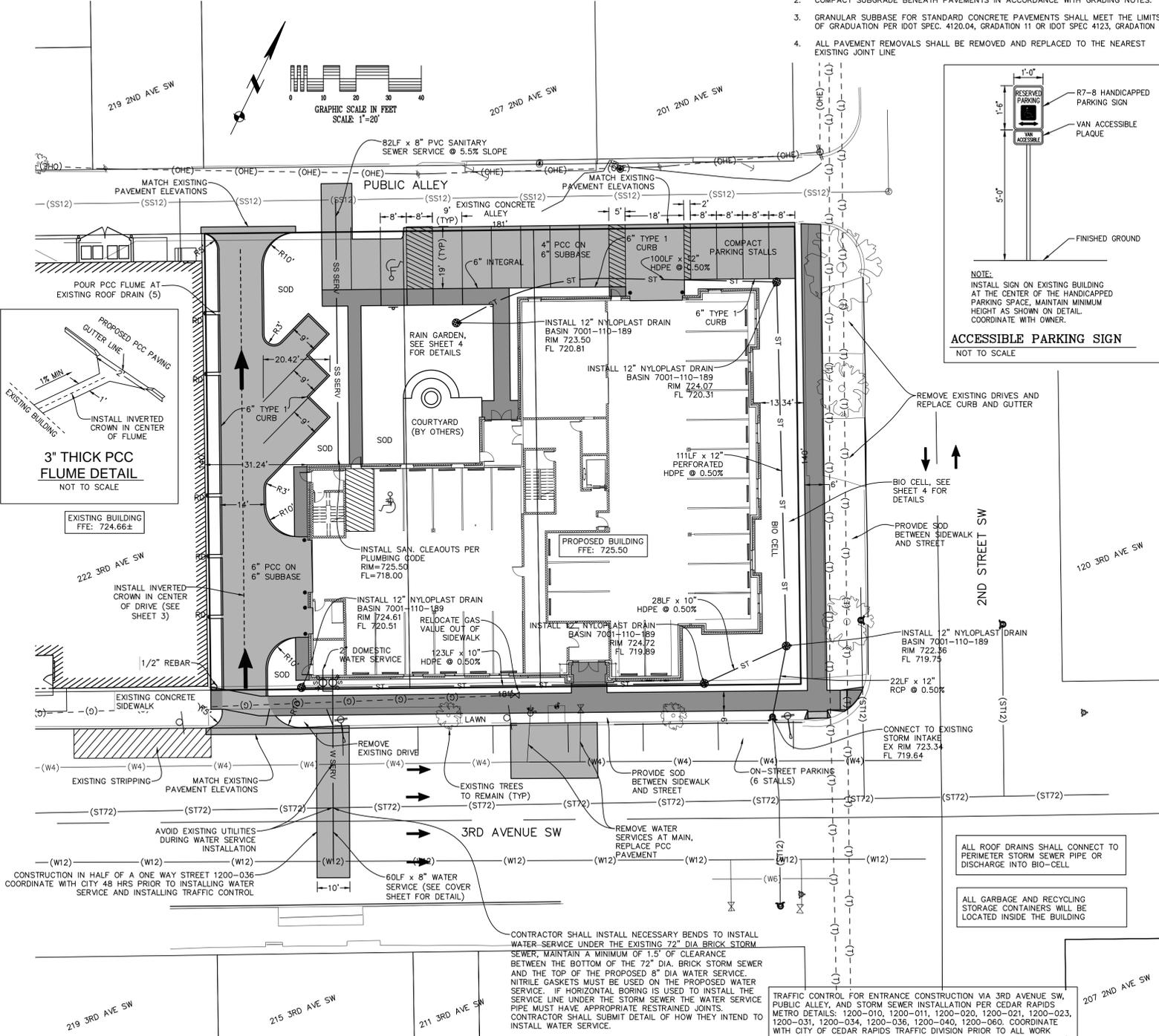
1. PROVIDE CONTROL JOINTS AT 12'-0" O/C MAXIMUM UNLESS NOTED OTHERWISE. INSTALL TYPE "L" OR "T" PAVEMENT SUBCONTRACTOR SHALL SUBMIT PROPOSED JOINTING PLAN TO THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO PAVEMENT CONSTRUCTION.
2. MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5% LESTONITE AGGREGATE SHALL BE 1-1/2" MAXIMUM SIZE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2.
3. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
4. CURING COMPOUND (WHITE, DARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.
5. PAVEMENT TE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.
6. CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
7. ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "F" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
8. ALL CURBS SHALL BE 6" TYPE 1 CURBS UNLESS STATED OTHERWISE.

SURFACE RESTORATION NOTES:

1. ALL DISTURBED AREAS NOT PAVED OR HARD SURFACE ON THE SITE SHALL RECEIVE MINIMUM 6" TOPSOIL. SCARIFY AREAS TO RECEIVE TOPSOIL TO A DEPTH OF 3". REMOVE ALL STONES, WOOD AND OTHER DEBRIS LARGER THAN 2" FROM AREAS TO RECEIVE TOPSOIL. DO NOT COMPACT TOPSOIL.
2. ALL DISTURBED AREAS SHALL BE SODDED IN ACCORDANCE WITH CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS AND DETAILS.
3. EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT ARE TO REMAIN AND ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE CEDAR RAPIDS METRO STANDARD DETAILS/SPECIFICATIONS AND AS DEEMED NECESSARY BY THE JURISDICTIONAL ENGINEER OF RECORD. CONTRACTOR SHALL BE PREPARED TO INSTALL ADDITIONAL MEASURES OTHER THAN THOSE SHOWN ON THE SITE PLAN IF SITE CONDITIONS WARRANT.
2. EROSION CONTROL METHODS SHALL BE IN PLACE PRIOR TO AREAS BEING DISTURBED.
3. EROSION CONTROL DEVICES SHALL BE CHECKED BY THE CONTRACTOR EVERY SEVEN (7) DAYS AND AFTER EACH RAINFALL EVENT EQUAL TO 1/2" OR GREATER TO ENSURE WORKING ORDER.
4. REPAIRS TO SOIL EROSION CONTROL DEVICES DEEMED NECESSARY SHALL BE COMPLETED IMMEDIATELY UPON NOTIFICATION OR WITHIN 24 HOURS IF WEATHER DELAYS.
5. MINIMIZE SOIL EROSION AND TRANSPORT BY MAINTAINING ALL EXISTING VEGETATION GROWTH WITHIN THE PROTECT LIMITS FOR AS LONG AS POSSIBLE TO SERVE AS A NATURAL BUFFER. CONTRACTOR TO PROTECT ALL ADJACENT PROPERTIES FROM DISRUPTION.
6. WHEN CONSTRUCTION ACTIVITIES ARE COMPLETE, RESPREAD TOPSOIL OVER THE DISTURBED AREAS THAT ARE NOT TO BE HARD SURFACED SHALL BE SEED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH CEDAR RAPIDS STANDARD SPECIFICATION AND THE LANDSCAPE PLAN.
7. PROVIDE TEMPORARY SEEDING IN DISTURBED AREAS WHERE OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL NOT BE COMPLETED FOR A PERIOD OF 14 DAYS OR MORE.
8. ALL SLOPES 4:1 OR GREATER SHALL BE COVERED BY AN EROSION CONTROL BLANKET OR MULCH.
9. CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT BASINS UNTIL FINAL GRADING AND SEEDING HAS BEEN PERFORMED ON THE SITE. CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM THE BASINS ONCE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
10. SILT FENCES, OR EQUIVALENT, SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE SHALL BE INSTALLED AS NECESSARY BY THE CONTRACTOR. MAINTENANCE AND/OR REPLACEMENT OF THE SILT FENCE IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR.
11. CONTRACTOR SHALL INSTALL TEMPORARY SILT FENCES AROUND ALL INTAKES. EROSION CONTROL SOCKS OR EQUIVALENT SHALL BE USED AT STREET INTAKES ONCE THE STREET PAVING HAS BEEN COMPLETED. EROSION SOCKS SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
12. EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN ONE OF THE FOLLOWING WAYS:
 - 12.A. CONNECT TILE TO THE NEAREST STORM SEWER.
 - 12.B. DAYLIGHT TO FINISHED GROUND.
 - 12.C. REPAIR TILE AND MAINTAIN SERVICE.
13. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND IF A TILE IS ENCOUNTERED AND SHALL INDICATE THE METHOD OF RESOLVING THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD PRIOR TO CONSTRUCTION. THE LOCATION OF THE FIELD TILE SHALL BE RECORDED ON THE CONSTRUCTION RECORD DOCUMENTS.
14. SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
15. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
16. CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.



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DATE: 05/06/2015				
FIELD BOOK: 220	NO.	REVISION DESCRIPTION	APPROVED	DATE

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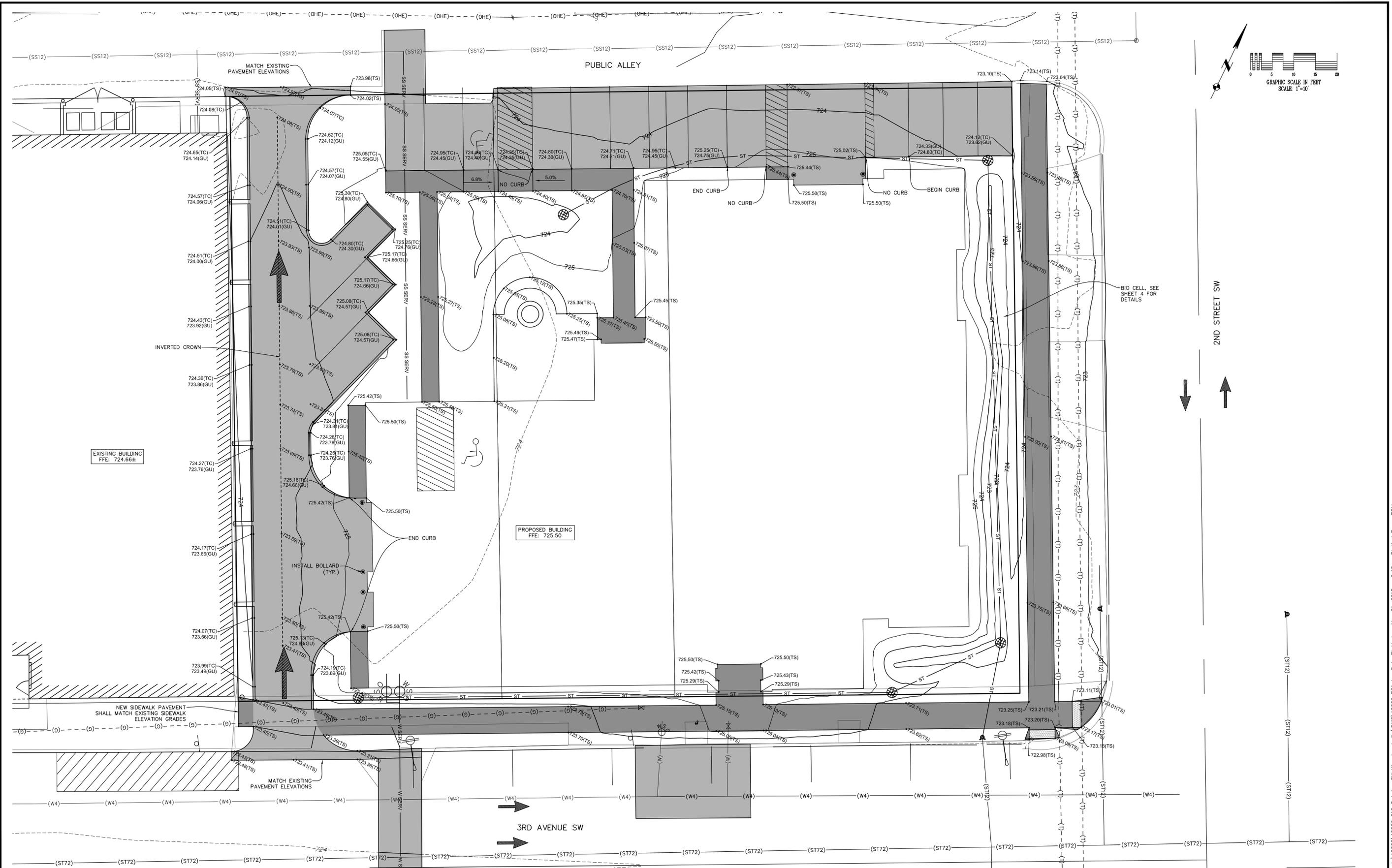
VILLAGE LOFTS
 IN THE CITY OF CEDAR RAPIDS,
 LINN COUNTY, IOWA

SITE DEVELOPMENT PLAN

SHEET 2 OF 4

PROJECT NO: 10209

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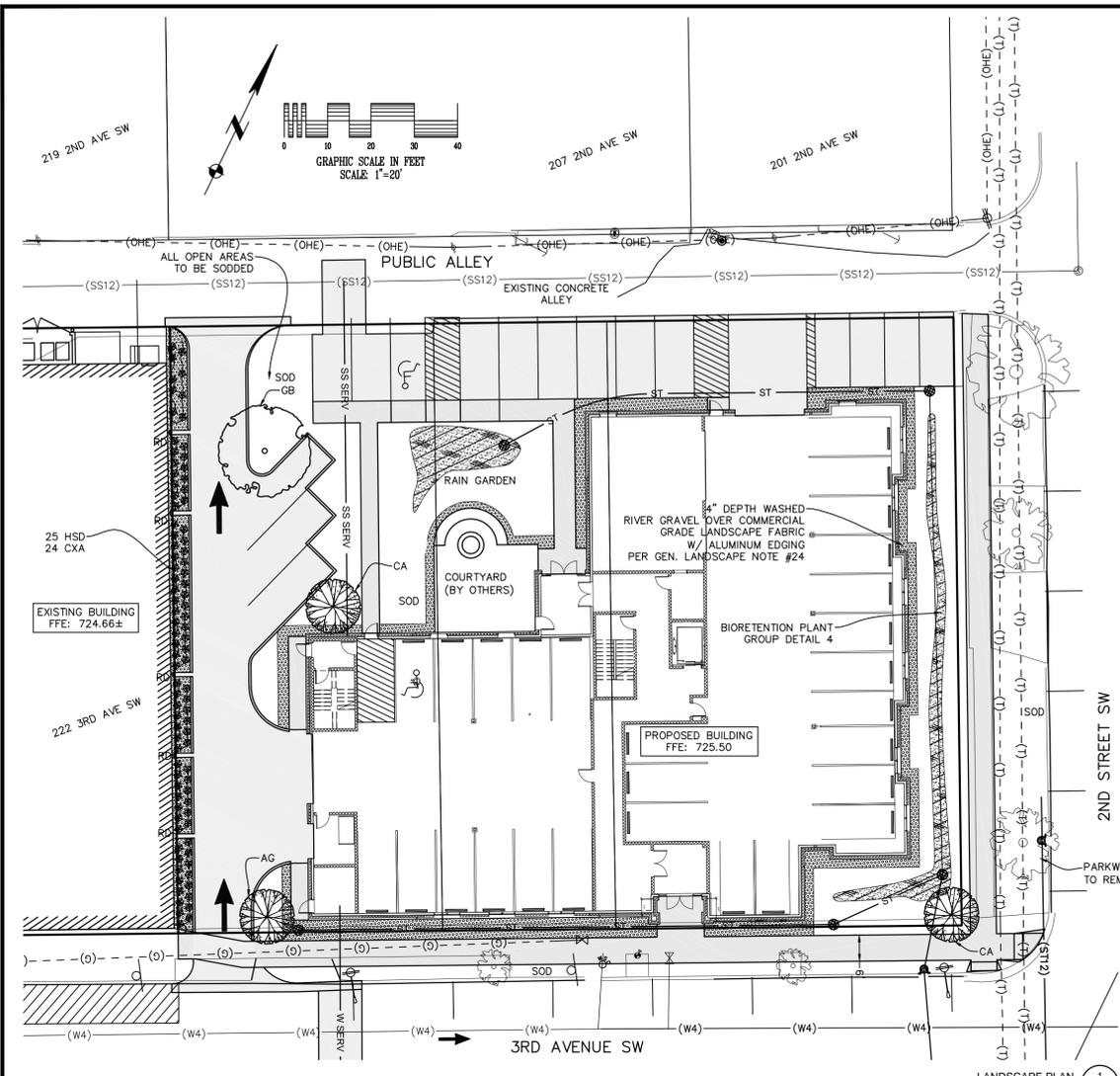
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VILLAGE LOFTS
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 LINN COUNTY, IOWA

GRADING & SPOT ELEVATION PLAN
 PROJECT NO: 10209

SHEET
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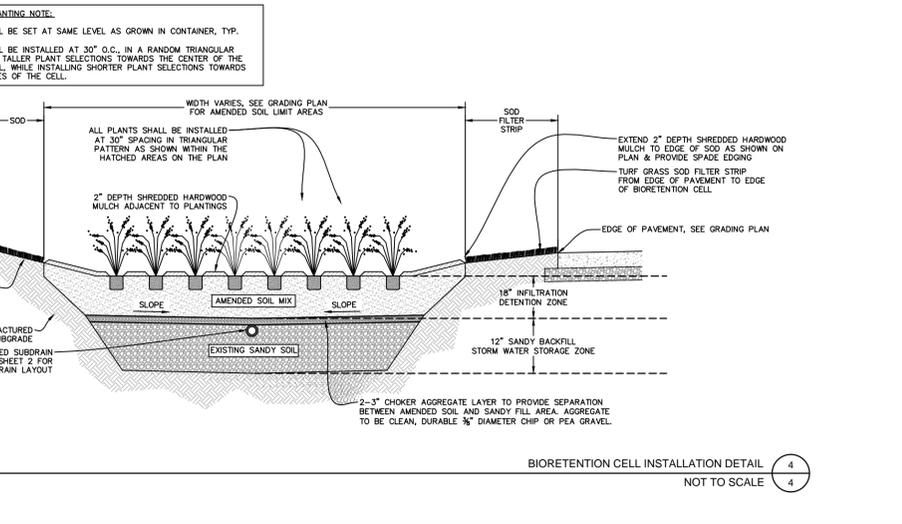
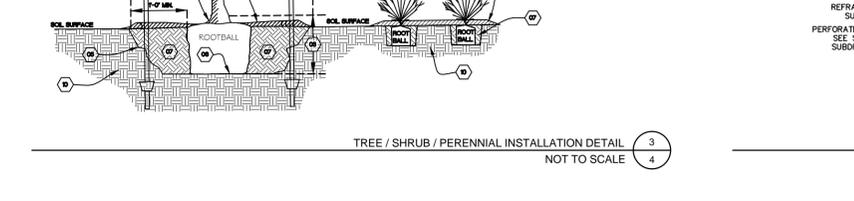
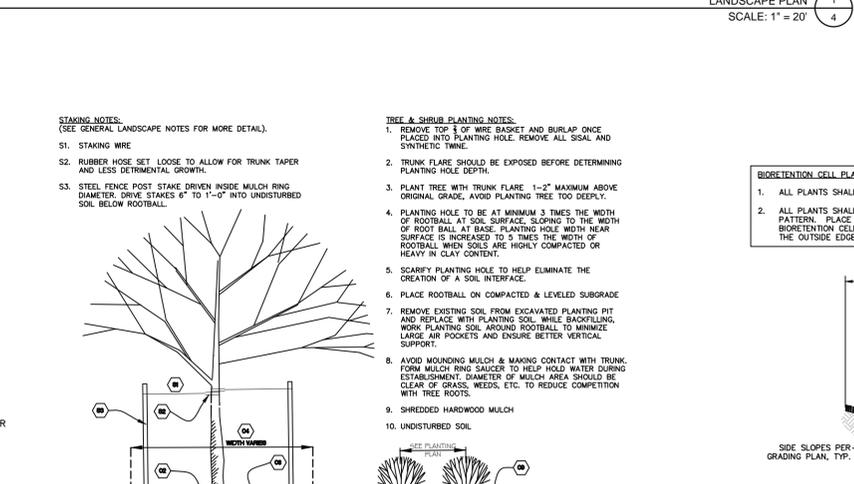
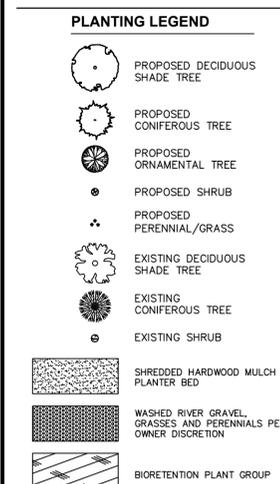


ID	QTY	BOTANICAL/COMMON NAME	MIN. SIZE	ROOT	SPACING	NOTES
OVERSTORY SHADE TREE						
GB	1	Ginkgo biloba 'Autumn Gold' GINKGO	2-1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
ORNAMENTAL TREE						
AG	1	Amelanchier grandiflora 'Robin Hill' ROBIN HILL SERV/CEBERRY	1-1/2" DBH	BB	SEE PLAN	CLUMP VARIETY NURSERY MATCHED, QUALITY SPECIMEN
CA	2	Cornus alternifolia 'Argentea' PAGODA DOGWOOD	1-1/2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
SHRUBS / NATIVE GRASS						
HSD	25	Hemerocallis 'Stella de Oro' DAY LILY	#1	CONTAINER	SEE PLAN	EVENLY SPACED, PER SITE PLAN
CXA	24	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	CONTAINER	SEE PLAN	EVENLY SPACED, PER SITE PLAN
BIORETENTION PLANT GROUP						
-	18	Dodecatheon amethystinum ALMETHYST SHOOTING STAR	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 1'
-	18	Zizia aurea GOLDEN ALEXANDERS	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 3'
-	18	Dodecatheon meadia MIDLAND SHOOTING STAR	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 1'
-	18	Anemone canadensis CANADA ANEMONE	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 1'
-	18	Cornus scaberrima WILD HYACINTH	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 2'
-	18	Phlox pilosa PRAIRIE PHLOX	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 2'
-	18	Phlox maculata WILD SWEET WILLIAM	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 3'
-	18	Pycnanthemum tenuifolium SLENDER MOUNTAIN MINT	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 2'
-	18	Lobelia siphilitica GREAT BLUE LOBELIA	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 3'
-	43	Sporobolus heterolepis PRAIRIE DROPSEED	#1	CONTAINER	30" O.C.	EVENLY SPACED, TRIANGULAR PATTERN, HEIGHT: 3'

- GENERAL LANDSCAPE NOTES:**
- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8989) AT LEAST 48 HOURS PRIOR TO DIGGING. REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY.
 - PRIOR TO PLANT MATERIAL INSTALLATION, THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS. FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING UTILITIES, TO MINIMIZE HAZARDS TO PLANT GROWTH AND TO IMPROVE MAINTENANCE CONDITIONS.
 - PRIOR TO INSTALLATION, ALL TREE PLANTING LOCATIONS SHALL BE FLAGGED AND PLANTING BEDS SHALL BE DELINEATED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. CONTACT THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ONE WEEK PRIOR TO ANTICIPATED PLANT MATERIAL INSTALLATION DATE FOR LAYOUT APPROVAL.
 - ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
 - PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE DISCREPANCIES OCCUR.
 - NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- SOIL PREPARATION AND MULCHING NOTES:**
- IMPORTED TOPSOIL, IF REQUIRED, SHALL BE:
 - FERTILE, FRAILABLE, NATURAL TOPSOIL WITH A CLAY CONTENT NOT EXCEEDING 30% AND ORGANIC MATTER CONTENT NOT LESS THAN 5% FREE FROM LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL, WITH AODITY RANGE OF BETWEEN Ph 6.0 and 6.8.
 - PLANTING SOIL:
 - PLANTING SOIL (i.e. BACKFILL AREAS AROUND ROOT BALLS AS SHOWN ON TREE/SHRUB INSTALLATION DETAIL) SHALL BE AMENDED THROUGHOUTLY MIX 4 PARTS TOPSOIL, 1 PART COMPOST, 1 PART SAND.
 - TOPSOIL SHALL BE AS SPECIFIED WITHIN THE NOTE ABOVE.
 - COMPOST SHALL BE FINELY SCREENED GRADED TO PASS SIEVE AS FOLLOWS:
 - MINIMUM OF 85% BEING 1/4" OR SMALLER (DRY BASIS RESULT).
 - MINIMUM OF 70% BEING 5/32" OR SMALLER (DRY BASIS RESULT).
 - WITH CLUMPS OR PARTICLES 3/4" DIAMETER OR GREATER.
 - SAND SHALL BE C33 WASHED CONCRETE SAND, OR APPROVED EQUAL.
 - UNLESS OTHERWISE STATED, ALL GRASS/PERENNIAL MASSINGS ARE TO BE EVENLY SPACED IN TRIANGULAR PATTERN ARRANGEMENT
 - PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL), PER MANUFACTURER'S DIRECTIONS, TO ALL PLANTING BEDS.
 - PROVIDE A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL TREE PLANTING BEDS.
 - PROVIDE 2" DEPTH OF SHREDDED HARDWOOD MULCH IN ALL SHRUB/ORNAMENTAL GRASS/PERENNIAL BEDS.
 - PROVIDE ALL TREES WITH A MINIMUM 3" DEPTH OF SHREDDED HARDWOOD MULCH. MULCH RINGS FOR TREES SHALL BE A MINIMUM SIX FOOT (6') DIAMETER AND CONTAIN SPADE EDGING AT MULCH RING EDGE
 - PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. DO NOT ALLOW ADDITION OF TOPSOIL, PLANTING SOIL OR MULCH TO DETER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.
 - NURSERY TAGS SHALL BE LEFT ON PLANT MATERIAL UNTIL LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE HAS COMPLETED THE INITIAL ACCEPTANCE.
 - CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
 - ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
 - AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 1/3 THE PLANT.
 - CONTRACTOR SHALL WATER AND MAINTAIN ALL SEEDING AREAS AS WELL AS ALL PLANTS UNTIL GROUND FREEZES. MAINTENANCE INCLUDES WEEDING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS UNTIL INITIAL ACCEPTANCE. INITIAL ACCEPTANCE IS CONSIDERED TO BE THE DATE AT WHICH PLANTING AND MULCHING, ETC., PER LANDSCAPE PLAN, HAS BEEN COMPLETED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INITIAL ACCEPTANCE.
 - REPLACE ALL PLANT MATERIAL UP TO ONE YEAR OF INITIAL ACCEPTANCE, IN ACCORDANCE WITH LANDSCAPE PLANS. ALL PLANTS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - ALL SEEDING APPLICATION NOTES ARE LISTED SEPARATELY, THIS SHEET. CONTRACTOR SHALL FOLLOW SEED MANUFACTURER'S RECOMMENDED SPECIFICATIONS FOR PRODUCT INFORMATION & INSTALLATION. FOR ALL OTHER LANDSCAPING WORK NOT ADDRESSED VIA MANUFACTURER'S SPECIFICATIONS, CONTRACTOR SHALL FOLLOW THE "CEDAR RAPIDS METROPOLITAN AREA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS" SECTIONS 8102000 & 022010 PLANTS FOR ALL SURFACE RESTORATION AND PLANTING PRACTICES. FOR ANY DISCREPANCIES THAT MAY ARISE, THE PLAN AND NOTES ON THIS SHEET SHALL SUPERCEDE THE METROPOLITAN SPECIFICATIONS.
 - PROVIDE ALUMINUM EDGING BETWEEN ALL MULCHED BEDS AND LAWN AREAS (SOD AND/OR SEED). ALUMINUM EDGING SHALL BE PERMALOC CLEANLINE 3/16" x 5.5" WITH MILL FINISH - NATURAL ALUMINUM, OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS. PRODUCT INFORMATION SEE: www.permaloc.com
 - CONTRACTOR TO PROVIDE PROOF OF PLANT PURCHASES VIA INVOICE OR SIMILAR TO THE CITY OF CEDAR RAPIDS FOR BIORETENTION AREAS.

PLANT SCHEDULE & PLAN ID KEY

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VILLAGE LOFTS
 IN THE CITY OF CEDAR RAPIDS,
 LINN COUNTY, IOWA

LANDSCAPE PLAN
 SHEET 4 OF 4
 PROJECT NO: 10209

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed professional landscape architect under the laws of the state of Iowa.
 Signed: _____ Date: _____
 Loren M. Hoffman, L.A.
 My license renewal date is June 30, 2014
 Pages or sheets covered by this seal: _____

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VILLAGE
LOFTS

