

AGENDA
CITY PLANNING COMMISSION MEETING
Thursday, May 29, 2014 @ 3:00 PM
City Hall Council Chambers
101 First Street SE, Cedar Rapids, IA 52401

- **Opening Statement**
 - **Roll Call**
 - **Approval of the Minutes**
 - **Adoption of the Agenda**
1. **Case Name: 821 and 825 Shaver Road NE (Rezoning)**
Consideration of a Rezoning from I-1, Light Industrial Zone District to C-2, Community Commercial Zone District as requested by Noleshawk Investments LLC (Applicant) and City of Cedar Rapids (Titleholder)
Case No: RZNE-009245-2014; Case Manager: Vern Zakostelecky
 2. **Case Name: 821 and 825 Shaver Road NE (Conditional Use)**

Consideration of a Conditional Use for an Outdoor Service Area in a C-2, Community Commercial Zone District as requested by Noleshawk Investments LLC (Applicant) and City of Cedar Rapids (Titleholder)
Case No: COND-009248-2014; Case Manager: Vern Zakostelecky
 3. **Case Name: 2nd Street and Diagonal Drive SW (Preliminary Site Development Plan)**

Consideration of a Preliminary Site Development Plan zoned RMF-2, Multiple Family Zone District, as requested by The T.W. Sather Company (Applicant) Sam Tarbox ET AL, Cecil J. & Tracy L. Powell, John & Randa Khairallah, JZ Properties LLC - Series 3 and City Of Cedar Rapids (Titleholders)
Case No: PSDP-009583-2014; Case Manager: Joe Mailander
 4. **Case Name: 2739 1st Avenue SE (Preliminary Site Development Plan)**

Consideration of a Preliminary Site Development Plan zoned O-S, Office/Service Zone District, as requested by Compass Commercial Services (Applicant) Cornerhouse Properties (Titleholder)
Case No: PSDP-009702-2014; Case Manager: Joe Mailander

5. Case Name: 1900 F Avenue NW (Conditional Use)

Consideration of a Conditional Use for an Communications Tower in a R-2, Single Family Residence Zone District as requested by AT&T Wireless (Applicant) and Immanuel Baptist Church (Titleholder)

Case No: COND-009542-2014; Case Manager: Dave Houg

6. Case Name: 59 16th Avenue SW (Conditional Use)

Consideration of a Conditional Use for an Outdoor Service Area in a C-3, Regional Commercial Zone District as requested by Frugal Heart LLC (Applicant) and Dusty Road LLC (Titleholder)

Case No: COND-009773-2014; Case Manager: Dave Houg

7. Case Name: City ROOTs Lots (Rezoning)

Consideration of a Rezoning from R-3, Single Family Residence Zone District, RMF-2, Multiple Family Residence Zone District and C-2, Community Commercial Zone District to R-TN, Traditional Neighborhood Residence Zone District for properties at 1024 K Avenue NW, 926 N Street SW, 930 N Street SW, 430 9th Avenue SW, 1069 G Avenue NW, 508 9th Street SW, 507 7th Avenue SW, 453 9th Avenue SW, 609 3rd Avenue SW, 948 N Street SW and 709 3rd Street SW as requested by the City of Cedar Rapids

Case No: RZNE-010381-2014; Case Manager: Joe Mailander

- **New Business**
- **Training Opportunities**
- **Announcements**

MINUTES
CITY PLANNING COMMISSION REGULAR MEETING,
Thursday, May 8, 2014 @ 3:00 p.m.

Cedar Rapids City Hall Council Chambers, 101 First Street SE

Members Present: Scott Overland, Chair
Jim Halverson, Vice – Chair
Samantha Dahlby
Carletta Knox-Seymour
Richard Pankey
Allan Thoms
Virginia Wilts

Member Absent: Kim King

DSD Staff: Joe Mailander, Manager
Dave Houg, Plats & Zoning Conditions Coordinator
CD Staff: Seth Gunnerson, Planner
Jeff Hintz, Planner
Betty Sheets, Administrative Assistant

The meeting was called to order at 3:00 p.m.

Opening statements were presented stating the protocol of the meeting and the purpose of the City Planning Commission.

Roll call was answered with seven (7) Commissioners present.

Commissioner Overland called for any additions or corrections to the minutes. Commissioner Overland stated with no additions or corrections, the April 17, 2014 minutes stand approved.

Commissioner Overland called for any additions or corrections to the agenda. Commissioner Overland stated with no additions or corrections, the agenda stands approved.

I. Case Name: 223 2nd Street SE (Conditional Use)

Consideration of a Conditional Use for an Outdoor Service Area in a C-4, Central Business Zone District as requested by Ruby LLC (Applicant) and Evolution LC (Titleholder)
Case No: COND-008568-2014; Case Manager: Dave Houg

Mr. Houg stated this was a request for Outdoor Service Area at 223 2nd Street SE in a C-4, Central Business Zone District for Ruby's Pizzeria. Mr. Houg presented a location map, site

layout, street view and the conditions applied to this project. Mr. Houg stated this Conditional Use will go before the Board of Adjustments at their May 12, 2014 meeting.

Commissioner Overland called for questions of Mr. Houg. No questions were presented.

Commissioner Overland called for a representative of the applicant. Applicant was present but did not wish to speak.

Commissioner Overland called for questions of the applicant. No questions were presented.

Commissioner Overland called for members of the public who wished to speak. No members of the public wished to speak.

Commissioner Overland called for a motion to approve the Conditional Use. Commissioner Pankey made a motion to approve the Conditional Use request for an Outdoor Service Area in a C-4, Central Business Zone District. Commissioner Halverson seconded the motion.

Commissioner Overland called for discussion on the motion. No discussion was presented. The motion passed unanimously with none opposed.

2. Case Name: 5101 16th Avenue SW (Conditional Use)

Consideration of a Conditional Use for a Communications Tower in a C-3, Regional Commercial Zone District as requested by Verizon Wireless (Applicant) and Father's House Vineyard (Titleholder)

Case No: COND-009110-2014; Case Manager: Dave Houg

Mr. Houg stated this was a request for a Communications Tower at 5101 16th Avenue SW in the C-3, Regional Commercial Zone District and will be installed behind the existing church. Mr. Houg presented a location map, site layout, tower elevation and one recommended condition that was applied to this project. Mr. Houg stated this Conditional Use will go before the Board of Adjustments at their June 9, 2014 meeting.

Commissioner Overland called for questions of Mr. Houg.

Commissioner Thoms asked if he would explain what "substantially adverse effect" meant. Mr. Houg stated that this was probably a typographical error.

Commissioner Knox-Seymour asked if this would be in the fall zone. Mr. Houg stated that the fall zone only applies to "habitable buildings", which are buildings where people sleep. There are some buildings within this tower's fall zone, but they are not considered "habitable".

Commissioner Dalhby asked to review the street view again and then asked if the tower on the photo was the tower that was being built or a separate one. Mr. Houg stated that was another one.

Commissioner Knox-Seymour asked if this tower could be piggy-backed on the existing tower. Mr. Houg said he would defer that answer to the consultant.

Commissioner Halverson stated he is concerned about the proliferation of cell towers and wanted to know if the City had given any consideration or study to cluster the cell towers. There is a

location at Boyson Road west of C Avenue where there is a cell tower park. The northeast side has received a number of requests for cell towers and asked if there could be more cell tower parks rather than scattered all over the city. Commissioner Halverson also was concerned about the scale, roughly like a 13 story building.

Commissioner Overland called for a representative of the applicant.

Tommy Beeler, Selective Site Consultants, 9900 W 109 K Street, Overland Park, KS contracted through Verizon Wireless for this project. Mr. Beeler stated there would be no adverse effect. Mr. Beeler further stated that they did look at co-locating in that spot and the height of the tower is not sufficient and the structure is not structurally adequate. They would like to see a proposal to have a more specific location for towers in general; however the carriers have very specific locations for coverage and they now have holes in coverage.

Commissioner Overland called for questions of the applicant.

Commissioner Halverson stated he would prefer if areas were effectively isolated and appropriate for these cell towers.

Commissioner Dalhby asked if along with co-location they had contacted the owner of the current owner of the tower so that there would not be two towers there. Mr. Beeler stated that is called drop and swap commonly used for that type of procedure however the owner is not interested a drop and swap.

Commissioner Overland asked if the towers with technology were getting taller and bigger. Mr. Beeler stated that not necessarily, it depends on the area. In more intense urban areas, smaller towers are installed, however in the middle of a corn field, the tower might be taller. The 90 foot tower in the picture is not tall enough for what Verizon needs. Towers in the 100 to 200 foot range are normal.

Commissioner Thoms asked if he was suggesting that the City requires cell towers to accommodate additional users but carriers are not building cell towers to hold additional users. Mr. Beeler stated the structure that is currently there would fail structurally. Moving forward it is his understanding that the capability for additional carriers on towers is a requirement. Mr. Beeler does not have the facts on the current tower's history, but that it failed their structural analysis.

Commissioner Thoms stated that it was interesting that we had one requirement but did not enforce the other.

Commissioner Overland stated that perhaps the tower was too old.

Commissioner Pankey asked if the proposed tower will handle additional carriers. Mr. Beeler stated yes.

Commissioner Wilts asked if the present tower that is there has only one carrier. Mr. Beeler stated he did not know. Commissioner Wilts asked how many people this tower will service. Mr. Beeler stated he did not know what the tower that is currently there would service and that it was a different type of tower. Commissioner Wilts asked what the new tower would service.

Mr. Beeler stated that if the Commissioners would like to know how many people the new tower would service he would have to obtain that information and get back to them.

Commissioner Overland called for any more questions of the applicant.

Commissioner Knox-Seymour asked in terms of Verizon, is this going to be their largest location and what would be the purpose of the next adjacent tower. Mr. Beeler stated that this is for the network being put together off-loading signals from each other so that the city and surrounding areas will be covered. Mr. Beeler would have to get the information to provide the Commissioners.

Commissioner Overland called for members of the public who wished to speak. No members of the public wished to speak.

Commissioner Overland called for a motion to approve the Conditional Use. Commissioner Thoms made a motion to approve the Conditional Use request for a Communications Tower in a C-3, Regional Commercial Zone District. Commissioner Halverson seconded the motion.

Commissioner Overland called for discussion on the motion. There was no further discussion.

Commissioner Overland stated seeing that there was no further discussion he called for a vote on the motion. The motion passed unanimously with none opposed.

3. Case Name: 1023 and 1027 6th Street SE (Rezoning)

Consideration of a Rezoning from R-TN, Traditional Neighborhood Residence Zone District to PUD-2, Planned Unit Development Two Zone District as requested by Sky's Edge Development, L.C. (Applicant/Titleholder)

Case No: RZNE-008869-2014; Case Manager: Vern Zakostelecky

Mr. Mailander stated this project was called Oak Hill Villages, a development of 4 townhomes along 6th Street SE. The developer is Sky's Edge Development and is currently zoned R-TN to be rezoned to a PUD-2. Mr. Mailander showed the site development plan, location/zoning map and renderings of the project. A Home Owners Association (HOA) will be established to manage the townhome property. This rezoning will go to City Council for a motion to set the public hearing on May 27, 2014 with the public hearing to be held on June 10, 2014.

Commissioner Overland called for questions of Mr. Mailander.

Commissioner Thoms asked if this was in the 100 year flood plain and will the project maintain a low finish elevation? Mr. Mailander stated that yes; the lowest opening in the building will be 2 feet above the base flood plain elevation.

Commissioner Thoms asked if there are parking spaces in the rear of the property. Do you include that area in your open space (green space of 3800 square feet)? Mr. Mailander stated no, the open space is yard located around and between the buildings.

Commissioner Overland called for a representative of the applicant.

Brent Jackman, Hall & Hall Engineers, 1860 Boyson Road, Hiawatha, IA stated he would be happy to answer any questions regarding the site or engineering the Commission had of him or the developer.

Commissioner Overland called for questions of the applicant.

Commissioner Wilts stated that in the narrative said that residential development will be in the character of the surrounding community, however, the renderings shown look pretty stark compared to the surrounding community. Mr. Mailander stated that to the south this looked similar to others in the Oak Hill Jackson community.

Commissioner Overland asked if this was what the garages will look like. Mr. Jackman stated yes.

Commissioner Overland stated that looking at the narrative, exceeding the City standard was attractive and he thought this looked like an attractive development and thanked the developer.

Commissioner Overland called for members of the public who wished to speak. No members of the public wished to speak.

Commissioner Overland called for a motion to approve the rezoning. Commissioner Halverson made a motion to approve the Rezoning from R-TN, Traditional Neighborhood Residence Zone District to PUD-2, Planned Unit Development Two Zone District. Commissioner Wilts seconded the motion.

Commissioner Overland called for discussion on the motion. No further discussion.

Commissioner Overland called for a vote on the motion. The motion passed unanimously with none opposed.

4. Case Name: 1140 C Street SW and 1223 1st Street SW (Rezoning)

Consideration of a Rezoning from O-S, Office/Service Zone District to PUD-2, Planned Unit Development Two Zone District as requested by Sky's Edge Development, L.C.

Case No: RZNE-008870-2014; Case Manager: Vern Zakostelecky

Mr. Mailander stated this project is called Sedona Villages and the developer is Sky's Edge Development. It is located off of C Street SW and includes 7 single-family detached homes. Mr. Mailander showed an aerial photo, location/zoning map and preliminary site plan with renderings of the project. PUD rezoning is also requested for this project in the Kingston Village area. This project is owner-occupied with an HOA for common area maintenance.

Commissioner Overland called for questions of Mr. Mailander.

Commissioner Knox-Seymour asked if this was an affordable housing project. Mr. Mailander stated that this is part of the City's ROOTs program and considered work-force housing with income limits.

Commissioner Overland called for a representative of the applicant.

Brent Jackman, Hall & Hall Engineers stated he would be happy to answer any questions.

Commissioner Wilts stated she preferred these renderings.

Commissioner Overland called for members of the public who wished to speak.

Wes Pudil, 1207 1st Street SW asked what they would do for parking.

Mr. Jackman stated that required parking based on occupant load was 13 spaces. Six (6) available spaces on street parking and ten (10) garages onsite would give them 16 available parking when only 13 were required.

Commissioner Overland called for a motion to approve the Rezoning. Commissioner Thoms made a motion to approve the Rezoning from O-S, Office/Service Zone District to PUD-2, Planned Unit Development Two Zone District. Commissioner Knox-Seymour seconded the motion.

Commissioner Overland called for discussion on the motion. No discussion was presented. The motion passed unanimously with none opposed.

Tabled Business

1. Case Name: 2773 East Robins Road NE (Conditional Use)

Consideration of a Conditional Use for 138' communications tower in an A, Agriculture Zone District as requested by Verizon Wireless (Applicant) and New Life Pentecostal (Titleholder)

Case No: COND-008266-2014; Case Manager: Dave Houg

Commissioner Overland stated this item had been previously tabled and asked for a motion to remove the item from the table. Commissioner Pankey made a motion to remove the Conditional Use for a Communication Tower from the table. Commissioner Halverson seconded the motion.

Commissioner Overland called for a vote on the motion. The motion passed unanimously with none opposed.

Mr. Houg stated that this Conditional Use was presented to the City Planning Commission on March 27, 2014 and was tabled with instructions for the applicant to work with neighbors and come up with an alternative. Mr. Houg presented a location map, aerial map, landscaping plan, site plan and tower elevation. Mr. Houg further stated that the communication tower will be moved to the other side of the church further away from the residential homes; the tower will be designed as a bell tower and will share a single drive connection to the street. The Board of Adjustments will consider this Conditional Use at its June 9, 2014 meeting.

Commissioner Overland called for questions of Mr. Houg. No questions were presented.

Commissioner Overland called for a representative of the applicant.

Tommy Beeler, Selective Site Consultants, 9900 W 109 K Street, Overland Park, KS stated he did not attend the previous meeting. It was his understanding that there was a desire expressed at that hearing for the communications tower to be moved to the west side of the church. Verizon and Selective Site Consultants are very sympathetic to the needs of the neighbors for this particular location. Due to the zoning of this site, it is permitted use and the fact that they have

redesigned the site as requested, we ask for recommendation of approval of this site and will be happy to answer any additional questions.

Commissioner Dahlby asked if they had met with the neighbors since these changes. Mr. Beeler stated that they had not met with the neighbors but were well aware that they were going to voice their concerns at this meeting and he hoped to address any questions that they may have.

Commissioner Knox-Seymour asked if she heard correctly that the new site is closer to the church. Mr. Beeler stated it would be the same distance from the church as before.

Commissioner Knox-Seymour asked if the fall zone was any closer to the church. Mr. Beeler responded that it was not.

Commissioner Overland called for members of the public who wished to speak.

Mark Seidl, 7725 Marquette Drive NE; Kenneth Keenan, 8000 C Avenue NE and Rene Simon, 7811 Marquette Drive NE

- Petition of signatures and a Linn County Soil Conservation document were presented to the Commissioners
- Residential area for some 20 years
- Considering that there are tower parks at the southwest corner of Boyson and C Avenue, near the defined search area, this would present itself as a possibility. Can they not piggy-back off another tower?
- So many towers around the city that keep going up
- Verizon said he would meet with neighbors but never had a neighborhood meeting
- Concern that there is bound to be a whistle.
- Fall zone concern due to the fact it is 140 feet in the air
- Concern of the fall line of the tower
- Basically do not want the shadows on our houses nor do we want to look at the tower

Commissioner Overland called for a representative of the applicant.

- Aware if soil borings been done. Mr. Beeler answered: yes, we make sure we have the proper surveys done. Verizon does not want to put a tower up if the soil is not correct.
- Fall zone and wind resistance. Mr. Beeler answered: this fall zone is out of harm's way of the residential area. The previous location met the fall zone requirement and now that it has been moved the tower is farther out of harm's way. Studies have been done to show this communication tower is 8 feet into the ground with concrete foundation. The chances are very slim that the tower should fall down.
- Windy and noise. Mr. Beeler answered: no additional noise. It is a bell tower and that will make noise but no windy whistling.
- Concerning the Boyson Road area tower park, number of towers and why there are so many towers. Mr. Beeler answered: Associates provided a search map and Verizon did a study to find out why this tower had to be located here. He could not speak for Verizon, but they did the research. This is the specific area Verizon came up with.

Commissioner Dalhby asked if the tower location was only researched by Verizon and was there any third party study done. Mr. Beeler stated that a third party study is not typically practiced. They request that justification be provided to SSC. Mr. Beeler stated that public notice required by the city is a mailing to a 300 foot radius and if someone did not receive the notice from the City he apologized that it did not reach them.

Commissioner Thoms asked if there was a beacon on the tower. Mr. Beeler stated that Verizon will avoid the beacon and will build the tower below the level that requires lighting.

Commissioner Pankey stated that the area is pretty tight for installing a tower in this location. He appreciates the fact that SSC and Verizon have moved the tower away from the house. If a tower has to be there, then this is a better location. Mr. Beeler stated that since this is a tight location with new development close by and the area is becoming more populated, this would be an ideal location. SSC understands that not everyone wants to see a tower from their back yard.

Commissioner Knox-Seymour asked if there is a possibility that people would be inside of the church should something happen. The fall zone is the full height fall zone and does not fall on the church.

Commissioner Wilts asked if there was a house on this property. Mr. Houg stated the house is intended to be removed.

Commissioner Overland called for a motion to approve the Conditional Use. Commissioner Thoms made a motion to approve the request for a Communications Tower in an A, Agriculture Zone District. Commissioner Dahlby seconded the motion.

Commissioner Overland called for discussion on the motion.

Commissioner Halverson stated there is a difference between the two applications on the agenda today. He expressed reservations regarding the proliferation of cell towers and does appreciate the applicant's desire to mask the tower but from a scale perspective it is like a 14 story building and in as much as he appreciates the efforts, he has reservations and will vote against it.

Commissioner Thoms stated that changes in technology have spurred this type of growth in the cell phone business, but it is the customer driving the growth. Site selection for tower locations is similar to wind farms, which are placed where the wind gives the best return on the investment. We all require 4G and next 5G and download from the web and the industry is driving this; however we are driving the industry. Feels that the applicant has done what needs to be done and therefore supports the Conditional Use.

Commissioner Wilts stated she concurs and that they had moved to the other side of the church.

Commissioner Pankey stated his reservation was the search area, however the configuration of the proposed tower has redeeming value. Owns property in a short distance of two towers and personally the towers do not bother with noise. Appreciates the fact it was moved and Verizon has done everything they can do to make it as pleasing as possible.

Commissioner Knox-Seymour stated that although she was trying to find fault with the fall zone, they have moved the tower and made changes and she will support this project.

Commissioner Overland stated seeing that there was no further discussion he called for a vote on the motion. The motion passed with a vote of six (6) to one (1).

Other Business

Mr. Mailander stated that with the passing of Gary Kranse, his leadership will be sorely missed.

Commissioner Thoms wanted to bring to the City Staff's attention about the Pathfinders as far as what they can and cannot do. Is there something that is wrong with the development of this property? Mr. Mailander stated that there is not a problem and permits have been issued to do site work.

Commissioner Thoms wanted to know how citizens could make comments to the EnvisionCR or Comprehensive Plan. Mr. Gunnerson stated that Commissioners should feel free to contact himself directly; email the Community Development Department at CommunityDevelopment@cedar-rapids.org or they can go to CRTalks.com.

The meeting was adjourned at 4:00 pm

Respectfully Submitted,

Betty Sheets, Administrative Assistant
Community Development



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5822

STAFF REPORT TO CITY PLANNING COMMISSION
Rezoning With Preliminary Site Development Plan

CPC Date: May 29, 2014
To: City Planning Commission
From: Development Services Department

Applicant: Noleshawk Investments, LLC
Titleholder: City of Cedar Rapids
Case Number: RZNE-009245-2014
Location: 821 and 825 Shaver Road NE
Request: Rezoning from I-1, Light Industrial Zone District to C-2, Community Commercial Zone District
Case Manager: Joe Mailander, Development Services Department

BACKGROUND INFORMATION:

The applicant is applying for a Rezoning from I-1, Light Industrial Zone District to C-2, Community Commercial Zone District for the property at 821 and 825 Shaver Road NE to allow construction of addition parking existing restaurant at 827 Shaver Road NE and to also allow expansion of the outdoor service area. The applicant has also submitted for Conditional Use approval to allow the expansion of the outdoor area for patrons to eat and have Outdoor Service Area. The goal of the restaurant owner would be to cater to bicyclists who use the Cedar Lake Trail. It should be noted that the applicant is purchasing the property from the City of Cedar Rapids and there is a restriction on the two parcels that no permanent structure can be constructed due to the parcels being in the 100-year flood plain.

FINDINGS:

Section 32.02.030.C.5.e of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

1. Whether the amendment is required to correct a technical mistake in the existing zoning regulations.

Staff Comments: This amendment is not required to correct a technical mistake in the existing zoning regulations.

2. Whether the amendment is consistent with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.

Staff Comments: The City's Future Land Use Map shows the subject property, as well as the adjoining properties, as Parks and Open Space. The designation is based on the Cedar Lake Master Plan adopted a number of years ago. Although the Plan was to create green space around the Cedar Lake the goals and objective also encouraged recreational and entertainment venues along the Lake. This proposed use meets the goals and objective of the Cedar Lake Master Plan and the City's Comprehensive Plan.

3. Whether the amendment is consistent with the characteristics of the surrounding area, including any changing conditions.

Staff Comments: The area is predominantly developed with light industrial, commercial recreational and service related uses. There are no residential uses in close proximity.

4. Whether the property is suitable for all of the uses permitted in the proposed district.

Staff Comments: The subject property is suitable for all uses that would be permitted in the C-2, Zoning District.

5. Whether the proposed amendment will protect existing neighborhoods from nearby development at heights and densities that are out of scale with the existing neighborhood.

Staff Comments: Given the restriction that no permanent structure can be built on the parcels, development at a height and density out of scale with the existing neighborhood would be difficult to achieve, even with C-2 zoning classification.

6. Whether facilities and services (including sewage and waste disposal, water, gas, electricity, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development.

Staff Comments: This parcel is located in a fully developed neighborhood and would have access to all necessary facilities and services without any issues.

7. The Site Development Plan is consistent with the previously approved Preliminary Plan for the property (if applicable).

Staff Comments: This provision is not applicable.

8. The Site Development Plan conforms to all applicable requirements of Chapter 32 with all applicable requirements as modified by a request for an Administrative Adjustment meeting.

Staff Comments: This site development plan meets the requirements of Chapter 32.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed rezoning use, adoption of the following conditions as recommended by City Departments should be considered. The City Planning Commission may approve with additional conditions.

1. That this site shall be developed in compliance with the provisions of the Flood Plain Management Ordinance. Improvements over 50% of the value of the structure will require flood-proofing of the building.
2. Said lots are to be combined so as to constitute a single zoning lot and tax parcel.
3. The current project is not complete, and fencing and a gate must still be installed. The gate must meet all Fire Department regulations related to entry/egress points. The gate shall be used only as an emergency entry/egress route unless the outdoor service area is staffed continually during normal business hours.
4. The outdoor service area must have fencing. The fencing requirements, for an area with limited staffing, must be of sufficient height to deter the passing of alcoholic beverages over the top of the fence. The fence must also be designed in such a manner as to prohibit the passing of alcoholic beverages through it. The fencing requirements, for an outdoor service area that is staffed full time during normal business hours, can vary some from the above requirements. For those outdoor service areas, a specific fence design must be submitted and it will be evaluated on a case-by-case basis.
5. The Police Department shall re-inspect the outdoor service area prior to issuance of a certificate of occupancy.
6. No amplified outdoor music such as bands, karaoke, and public address systems, etc. shall be allowed in the outdoor service area.



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STAFF REPORT TO CITY PLANNING COMMISSION
Conditional Use with a Preliminary Site Development Plan

CPC Date: May 29, 2014
To: City Planning Commission
From: Development Services Department

Applicant: Noleshawk Investments, L.L.C.
Titleholder: City of Cedar Rapids
Case Number: COND-009248-2014
Location: 821 & 825 Shaver Road NE
Request: Conditional Use approval for an Outdoor Service Area
Case Manager: Dave Houg, Development Services Department

BACKGROUND INFORMATION:

This is to certify that Development Services staff has examined the petition of Noleshawk Investments, L.L.C. requesting a Conditional Use approval for an Outdoor Service Area for property currently owned by the City of Cedar Rapids at 821 & 825 Shaver Road NE and proposed to be zoned C-2, Community Commercial Zone District.

Noleshawk Investments, L.L.C. intends to acquire additional lots and expand the outdoor entertainment portion of the Sag Wagon. The plans include a building addition, parking lot expansion, bike racks on permeable pavers and a volleyball pit.

The site plan submitted shows the following characteristics:

- Total lot area: 40,553 s.f. (0.93 acres)
- Total area of expanded parking: 6800 s.f.
- Total size of building addition: 164 s.f.
- Total size of additional outdoor service area: 20 seats
- Total parking required: 22 spaces
- Total parking provided: 23 spaces

After careful review, the staff has prepared the following findings in accord with Section 32.02.030.D. of the Zoning Ordinance:

FINDINGS:

Section 32.02.030.D.9 of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. That the conditional use applied for is permitted in the district within which the property is located.**

Staff Comments: The conditional use as requested is permitted within the C-2, Community Commercial District.

- 2. That the proposed use and development will be consistent with the intent and purpose of this Ordinance and with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.**

Staff Comments: This Conditional Use request for an outdoor service area will be consistent if the property is successfully rezoned to C-2.

- 3. That the proposed use and development will not have a substantial adverse effect upon adjacent property, and the character of the neighborhood, traffic conditions, parking, utility and service facilities, and other factors affecting the public health, safety, and welfare.**

Staff Comments: The surrounding area is comprised of Cedar Lake, I-380 and industrially-zoned lots. This Conditional Use request for an outdoor service area has little potential to be disruptive.

- 4. That the proposed development or use will be located, designed, constructed and operated in such a manner that it will be compatible with the immediate neighborhood and will not interfere with the orderly use, development and improvement of surrounding property.**

Staff Comments: The proposed outdoor service area is isolated by the nature of its locale. Additionally, security fencing is proposed for the entire outdoor area.

- 5. That adequate measure have been or will be taken to assure adequate access designed to minimize traffic congestion and to assure adequate service by essential public services and facilities including utilities, storm water drainage, and similar facilities.**

Staff Comments: There are no anticipated changes to the traffic patterns or required public services and facilities necessary to serve the site.

- 6. That the proposed building, development, or use will comply with any additional standards imposed on it by provisions of this Ordinance for the district in which the property is located.**

Staff Comments: The outdoor service area will be required to comply with all provisions of the Zoning Ordinance and the C-2 Zoning District, the staff recommended conditions and all other applicable codes and regulations.

- 7. Whether, and to what extent, all reasonable steps possible have been, or will be, taken to minimize any potential adverse effects on the surrounding property through building design, site design, landscaping, and screening.**

Staff Comments: The service area must comply with all applicable requirements of the Police Department for fencing.

8. The Site Development Plan conforms to all applicable requirements of this Ordinance.

Staff Comments: The plan does conform to all applicable requirements.

If the Commission determines to recommend approval of the proposed conditional use, adoption of the following conditions as recommended by staff should be considered:

RECOMMENDED CONDITIONS:

1. Subject to successful rezoning of the property.
2. That this site shall be developed in compliance with the provisions of the Flood Plain Management Ordinance.
3. Said lots are to be combined so as to constitute a single zoning lot and tax parcel.
4. Design guidelines and standards as specified in Subsection 32.05.030.A. shall be met or a variance must be obtained.
5. The current project is not complete and fencing and a gate must still be installed. The gate must meet all Fire Department regulations related to entry/egress points. The gate shall be used only as an emergency entry/egress route unless the outdoor service area is staffed continually during normal business hours.
6. The outdoor service area must have fencing. The fencing requirements, for an area with limited staffing, must be of sufficient height to deter the passing of alcoholic beverages over the top of the fence. The fence must also be designed in such a manner as to prohibit the passing of alcoholic beverages through it. The fencing requirements, for an outdoor service area that is staffed full time during normal business hours, can vary some from the above requirements. For those outdoor service areas, a specific fence design must be submitted and it will be evaluated on a case-by-case basis.
7. The Police Department shall re-inspect the outdoor service area prior to issuance of a certificate of occupancy.
8. That all parking, drives, and storage areas be surfaced per provisions of the Zoning Ordinance. Surfacing to include asphalt, concrete, brick or asphaltic macadam.
9. Lighting fixtures shall be shielded in a manner that shall not direct illumination on any public right-of-way as per Subsection 32.05.030.B. of the Zoning Ordinance.



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5822

STAFF REPORT TO CITY PLANNING COMMISSION
Preliminary Site Development Plan

CPC Date: May 29, 2014
To: City Planning Commission
From: Development Services Department

Applicant: The T.W. Sather Company
Titleholder: Sam Tarbox ET AL, Cecil J. and Tracy L. Powell, John and Randa Khairallah, JZ Properties LLC - Series 3 and City of Cedar Rapids
Case Number: PSDP-009583-2014
Location: 2nd Street and Diagonal Drive SW
Request: Preliminary Site Development Plan Approval for property zoned RMF-2, Multiple Family Residence Zone District
Case Manager: Joe Mailander, Development Services Department

BACKGROUND INFORMATION:

The property is currently developed with a few existing residential buildings and also contains several vacant parcels. The applicant is applying for Preliminary Site Development Plan approval to allow development of a 64-unit 4-story apartment building. The applicant has received support from City Council and has been approved for Tax Credits from the Iowa Finance Authority to develop the project. The Preliminary Site Development Plan submitted includes the following proposed improvements:

- Total site area-71,130 s. f. (including vacated public right-of-way).
- Total proposed building area-20,563 s. f.
- 64-unit 2 story building.
- Total parking-89 spaces including 4 handicap spaces/required 28.
- Total green space-27.4%
- Single access drive from 3rd St. SW and two access drives from 2nd St. SW.

FINDINGS:

Section 32.02.030.C.5.e of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. The Site Development Plan is consistent with the previously approved Preliminary Plans for the property (if applicable)**

Staff comments: The finding does not apply since there was no previous approved site plan for this property.

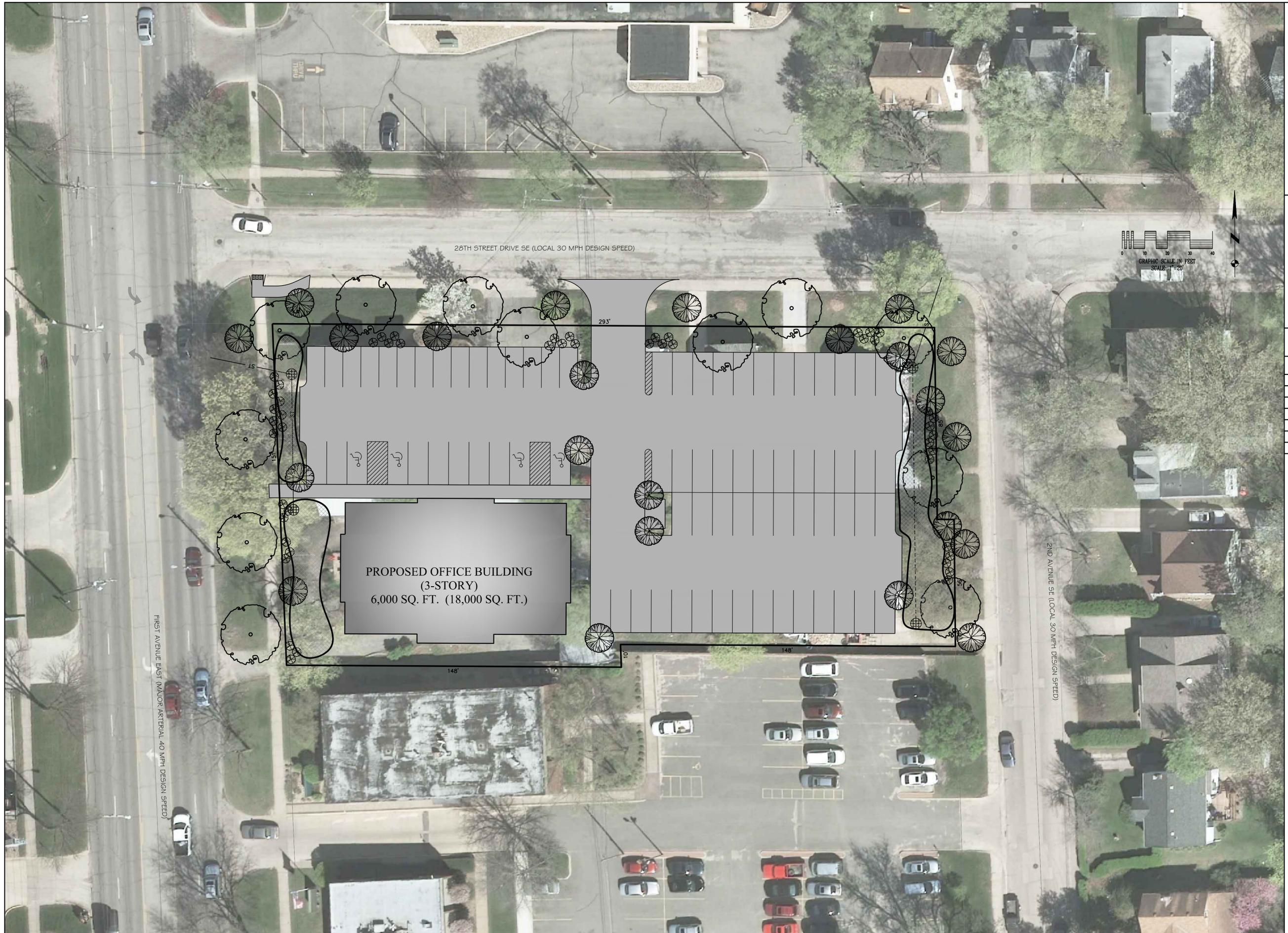
2. The Site Development Plan conforms to all applicable requirements of this Ordinance.

Staff comments: The site development plan conforms to all applicable requirements of the City's Zoning Ordinance and other applicable codes and regulations provided the conditions proposed by City staff are complied with.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed Preliminary Site Development Plan, adoption of the following conditions as recommended by City Departments should be considered. The City Planning Commission may approve with additional conditions.

1. The existing structures must be removed under appropriate permit and inspections conducted and approved. This includes review by the Historic Preservation Commission for structures 50-years old or older.
2. Review of this proposal is required by the Kingston Village Overlay District Design Review Technical Advisory Committee.
3. Required side and rear buffer yards shall be provided where adjacent to Residential zone districts or a variance must be obtained.
4. Effective screening shall be provided and maintained so as to screen the open parking spaces and the drive thereto where adjacent to a residential use per provisions of the Zoning Ordinance or a variance be obtained.
5. All lighting shall be of a type, design and placement, and also be shielded in a manner to minimize impact on residential properties or uses adjacent to or immediately across the street.
6. Said lots and vacated rights-of-way are to be combined so as to constitute a single zoning lot and tax parcel.
7. Parking is not to be provided within a required front yard setback without successfully obtaining a variance.
8. Required yard setbacks shall be provided or a variance must be obtained.
9. Parking stall lengths are minimum 19'. 2' overhangs may be used if vehicles do not interfere with sidewalk clear width and low profile curbs are used. Curbing and / or parking block locations will be reviewed as part of the Administrative Site Development Plan.



1641 BOYSON SQAURE DRIVE
SUITE 100
CEDAR RAPIDS, IOWA 52314

PHONE 319.393.9011
877.393.9022
FAX 319.395.7933

PRINTED

DATE	REMARKS

Revision Schedule		
Rev#	Description	Date

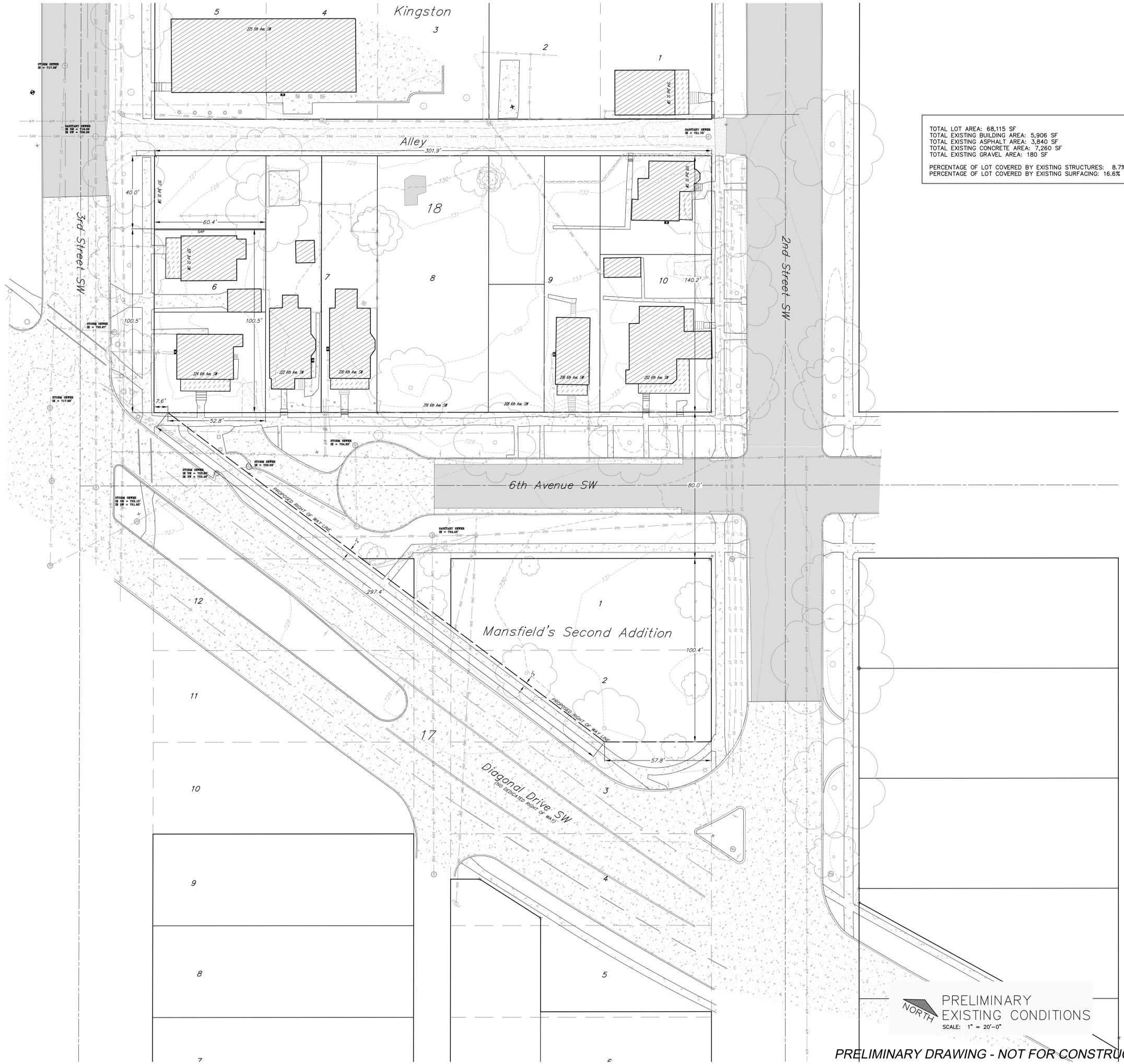
CORNERHOUSE PROPERTY
2739 1ST AVENUE SE,
CEDAR RAPIDS, IOWA

**PRELIMINARY SITE
DEVELOPMENT PLAN**

DATE: 01 SEPTEMBER, 2013

PROJECT NO.
26312

A101



TOTAL LOT AREA: 68,115 SF
 TOTAL EXISTING BUILDING AREA: 5,906 SF
 TOTAL EXISTING ASPHALT AREA: 3,840 SF
 TOTAL EXISTING CONCRETE AREA: 7,260 SF
 TOTAL EXISTING GRAVEL AREA: 180 SF
 PERCENTAGE OF LOT COVERED BY EXISTING STRUCTURES: 8.7%
 PERCENTAGE OF LOT COVERED BY EXISTING SURFACING: 16.6%

PRELIMINARY EXISTING CONDITIONS
 SCALE: 1" = 20'-0"

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



100 CAMELOT DRIVE
 FOND DU LAC, WI 54935
 PHONE: (920) 926-9800
 FAX: (920) 926-9801

Always a Better Plan



planners | engineers | advisors
 REEDSBURG - MADISON - PRAIRIE DU CHIEN
 400 Viking Drive
 Reedsburg, Wisconsin 53959
 Phone: (608) 324-6666 Fax: (608) 324-6218

OWNER:
 THE T.W. SATHER COMPANY
 6527 NORMANDY LANE, SUITE 201
 MADISON, WISCONSIN

PROJECT:
 PROPOSED DEVELOPMENT FOR:
 KINGSTON VILLAGE APARTMENTS
 CEDAR RAPIDS, IOWA

PRELIMINARY SHEET DATES:

JOB NUMBER:
 1309760
 SHEET

C1.0

2013 © EXCEL ENGINEERING, INC.

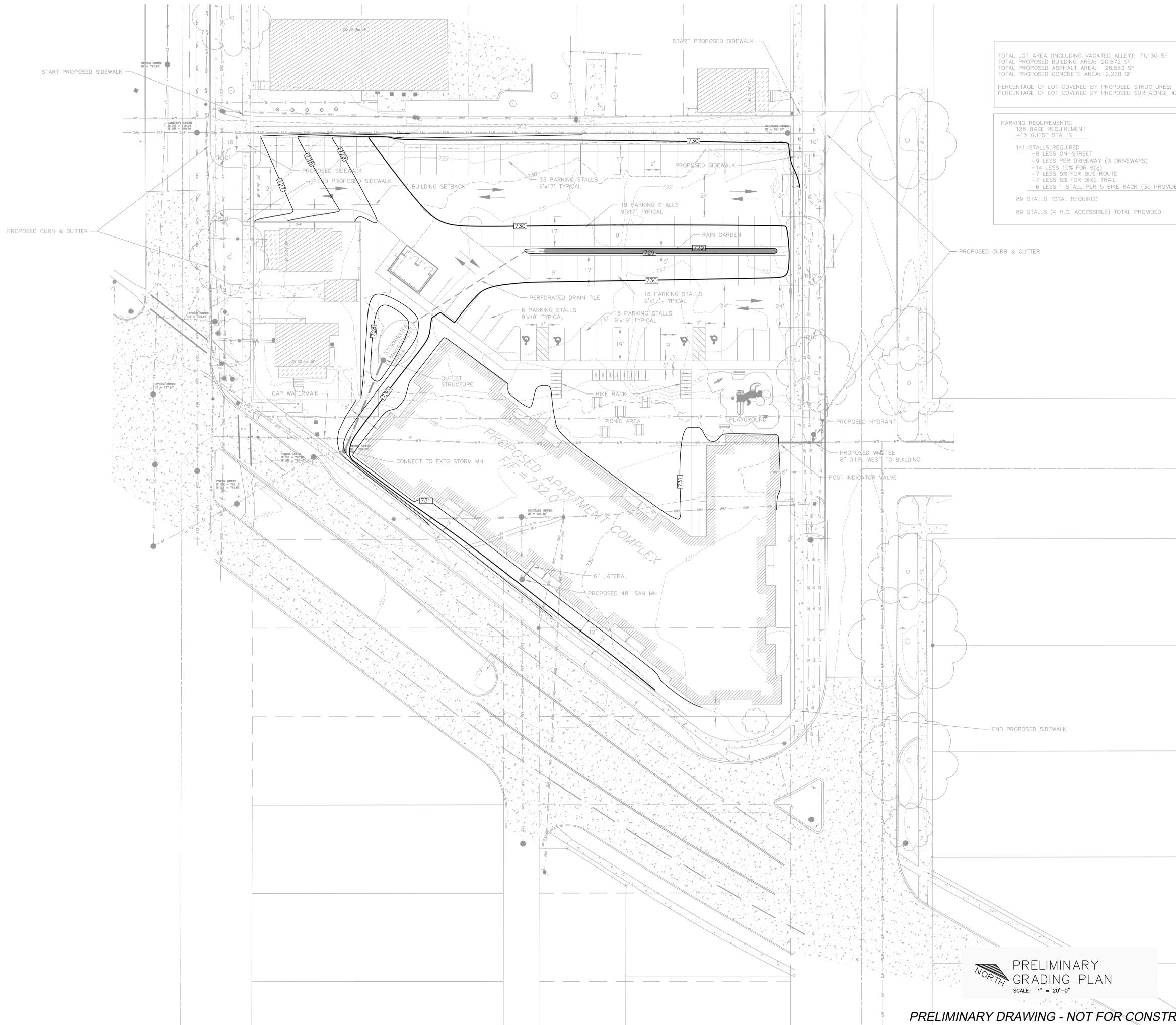
TOTAL LOT AREA (INCLUDING VACATED ALLEY): 71,130 SF
TOTAL PROPOSED BUILDING AREA: 20,872 SF
TOTAL PROPOSED ASPHALT AREA: 28,563 SF
TOTAL PROPOSED CONCRETE AREA: 2,270 SF

PERCENTAGE OF LOT COVERED BY PROPOSED STRUCTURES: 29.3%
PERCENTAGE OF LOT COVERED BY PROPOSED SURFACING: 43.3%

PARKING REQUIREMENTS:
128 BASE REQUIREMENT
+13 GUEST STALLS

- 141 STALLS REQUIRED
- 8 LESS ON-STREET
- 9 LESS PER DRIVEWAY (3 DRIVEWAYS)
- 14 LESS 10% FOR 6(g)
- 7 LESS 5% FOR BUS ROUTE
- 7 LESS 5% FOR BIKE TRAIL
- 6 LESS 1 STALL PER 5 BIKE RACK (30 PROVIDED)

89 STALLS TOTAL REQUIRED
89 STALLS (4 H.C. ACCESSIBLE) TOTAL PROVIDED



PRELIMINARY GRADING PLAN
SCALE: 1" = 20'-0"

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

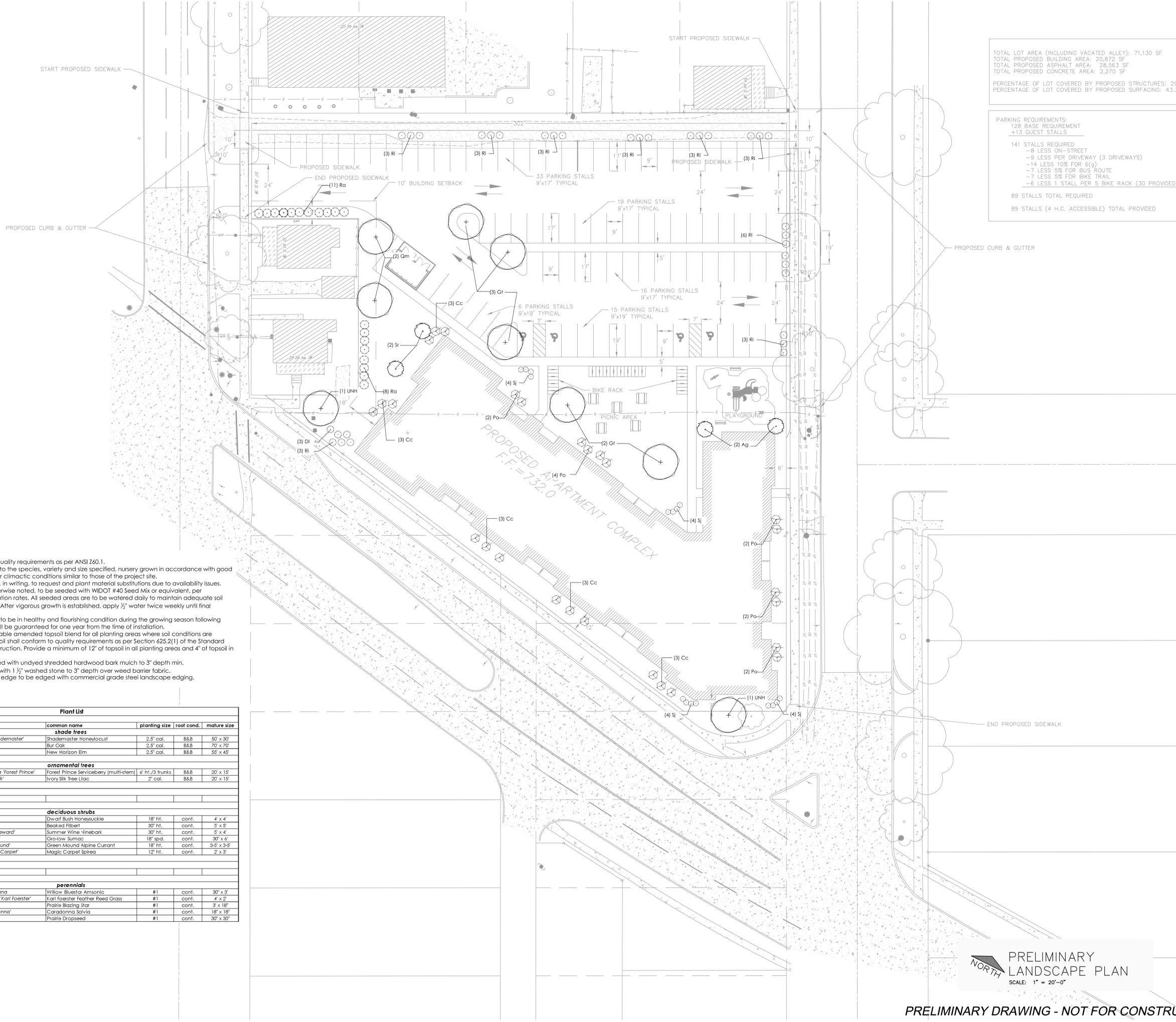
TOTAL LOT AREA (INCLUDING VACATED ALLEY): 71,130 SF
TOTAL PROPOSED BUILDING AREA: 20,872 SF
TOTAL PROPOSED ASPHALT AREA: 28,563 SF
TOTAL PROPOSED CONCRETE AREA: 2,270 SF

PERCENTAGE OF LOT COVERED BY PROPOSED STRUCTURES: 29.3%
PERCENTAGE OF LOT COVERED BY PROPOSED SURFACING: 43.3%

PARKING REQUIREMENTS:
128 BASE REQUIREMENT
+13 GUEST STALLS

141 STALLS REQUIRED
-8 LESS ON-STREET
-9 LESS PER DRIVEWAY (3 DRIVEWAYS)
-14 LESS 10% FOR 6(g)
-7 LESS 5% FOR BUS ROUTE
-7 LESS 5% FOR BIKE TRAIL
-6 LESS 1 STALL PER 5 BIKE RACK (30 PROVIDED)

89 STALLS TOTAL REQUIRED
89 STALLS (4 H.C. ACCESSIBLE) TOTAL PROVIDED



- GENERAL NOTES:**
- All plantings shall conform to quality requirements as per ANSI Z60.1.
 - All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climatic conditions similar to those of the project site.
 - Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
 - All disturbed areas, unless otherwise noted, to be seeded with WIDOT #40 Seed Mix or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
 - All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
 - Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 4" of topsoil in areas to be seeded/sodded.
 - Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min.
 - Mowing edge to be mulched with 1 1/2" washed stone to 3" depth over weed barrier fabric.
 - Landscape beds and mowing edge to be edged with commercial grade steel landscape edging.

Plant List					
key	qty.	botanical name	common name	planting size	mature size
shade trees					
Gt	5	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2.5' cal.	B&B 50' x 30'
Gm	2	Quercus macrocarpa	Bur Oak	2.5' cal.	B&B 70' x 70'
UNH	2	Ulmus 'New Horizon'	New Horizon Elm	2.5' cal.	B&B 55' x 45'
ornamental trees					
Ag	2	Amelanchier x grandiflora 'Forest Prince'	Forest Prince Serviceberry (multi-stem)	6' ht./3 trunks	B&B 20' x 15'
Sr	2	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	2' cal.	B&B 20' x 15'
deciduous shrubs					
DI	3	Diervilla lonicera	Dwarf Bush Honeysuckle	18" ht.	cont. 4' x 4'
Cc	15	Corylus cornuta	Beaked Filbert	30" ht.	cont. 5' x 5'
Pa	12	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	30" ht.	cont. 5' x 4'
Ra	19	Rhus aromatica 'Gro-low'	Gro-low Sumac	18" spd.	cont. 30" x 4'
Ri	24	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	18" ht.	cont. 3-5' x 3-5'
Sj	16	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	12" ht.	cont. 2' x 3'
perennials					
at		Amsonia faberiana	Willow Bluestar Amsonia	#1	cont. 30' x 3'
ca		Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	cont. 4' x 2'
lp		Liatris pycnostachya	Prairie Blazing Star	#1	cont. 3' x 18"
sn		Salvia nemorosa 'Caradonna'	Caradonna Salvia	#1	cont. 18" x 18"
sh		Sporobolus heterolepis	Prairie Dropseed	#1	cont. 30' x 30"

PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20'-0"

PRELIMINARY DRAWING - NOT FOR CONSTRUCTION

OWNER:
THE T.W. SATHER COMPANY
6527 NORMANDY LANE, SUITE 201
MADISON, WISCONSIN

PROJECT:
PROPOSED DEVELOPMENT FOR:
KINGSTON VILLAGE APARTMENTS
CEDAR RAPIDS, IOWA

PRELIMINARY SHEET DATES:

JOB NUMBER:
1309760
SHEET

L1.0

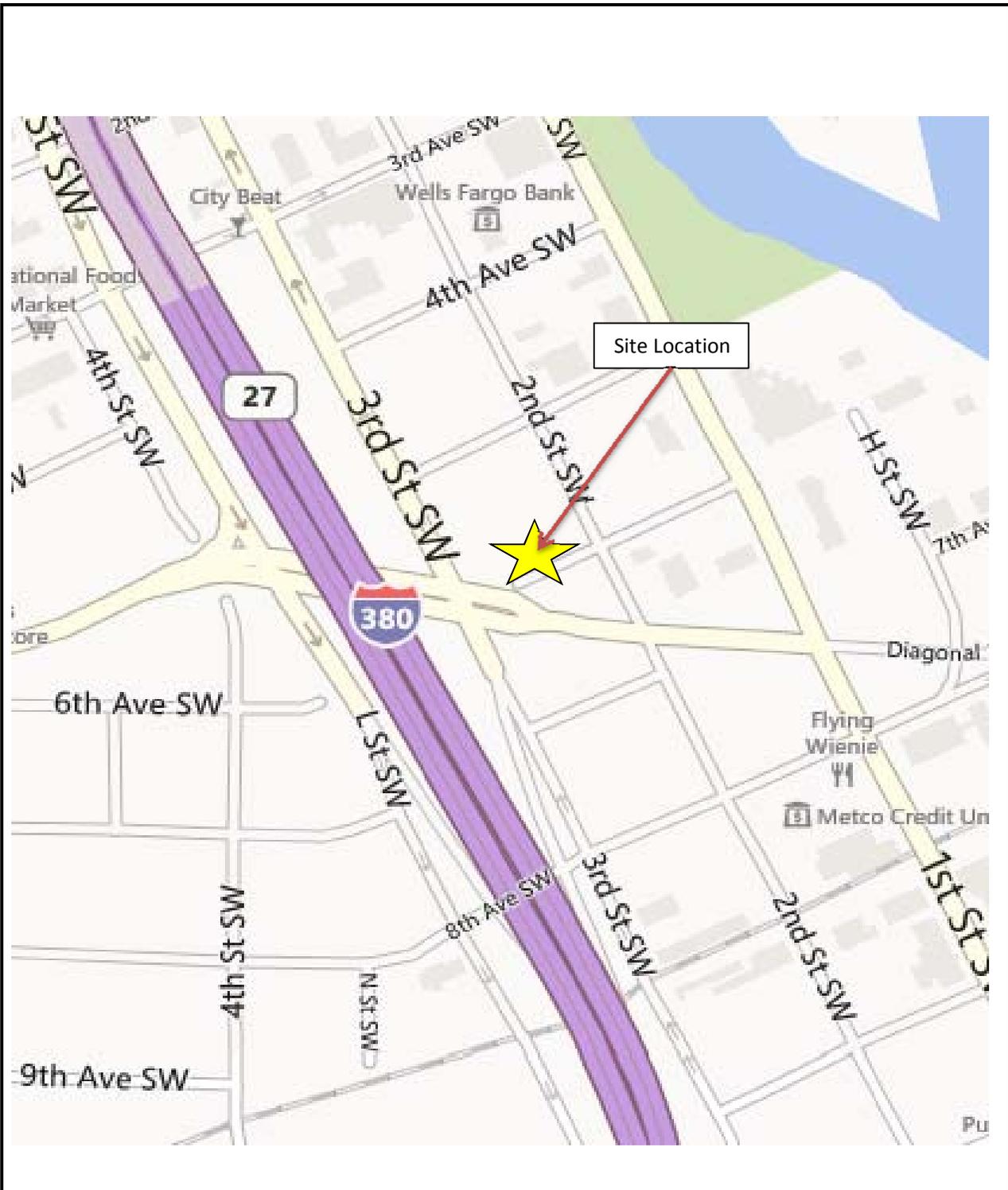
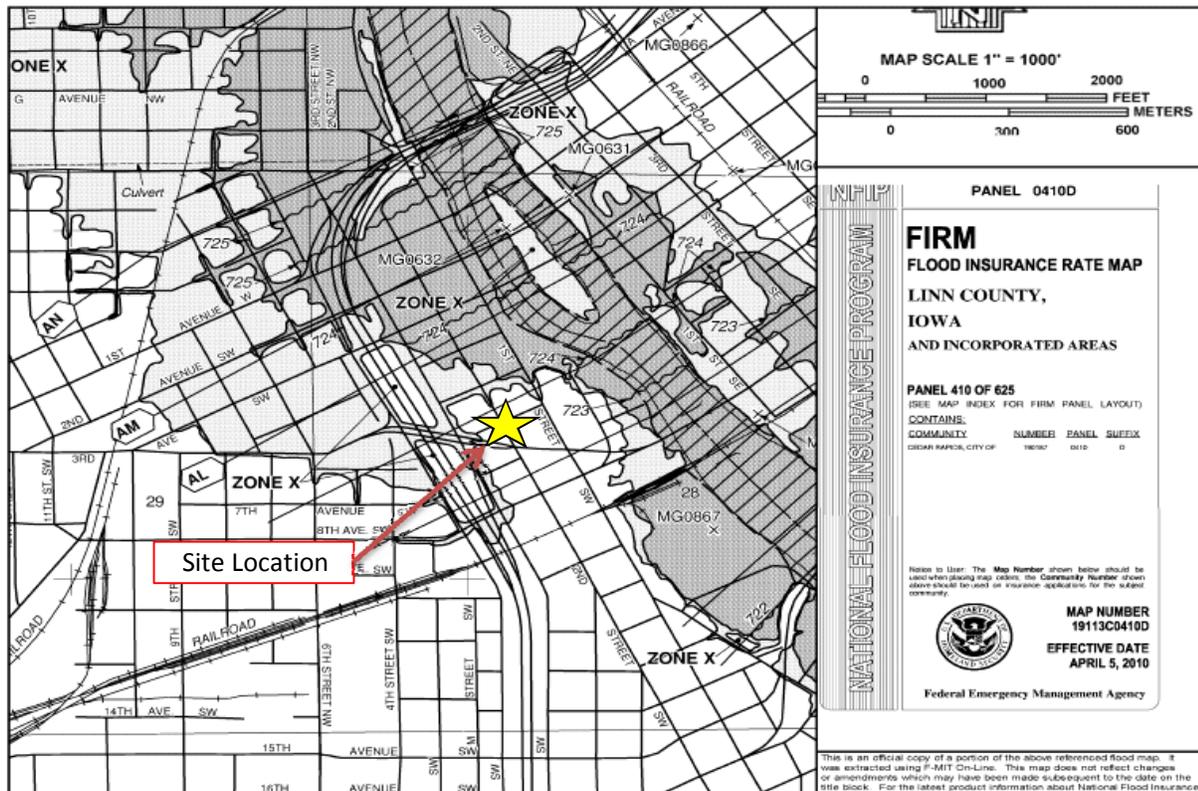


Figure 2.1 - Site Location Map
 Project Name: Kingston Village Apartments
 Project Location: Cedar Rapids, Iowa







Tables – Hydrologic Soil Group – Summary By Map Unit

Summary by Map Unit – Linn County, Iowa (IA113)

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
4136	Ankeny-Urban land complex, 0 to 2 % slopes, rarely flooded	A	1.9	100.0%
Totals for Area of Interest			1.9	100.0%

vierbicher
planners | engineers | advisors



Figure 2.4 NRCS Soils Map
Project Name: Kingston Village Apartments
Project Location: Cedar Rapids, Iowa



May 6, 2014

Jim Green
Community Development Department
City Hall
101 First Street SE
Cedar Rapids, IA 52401

Re: Kingston Village Apartments – Storm Water Management
City of Cedar Rapids, Iowa

Dear Mr. Green,

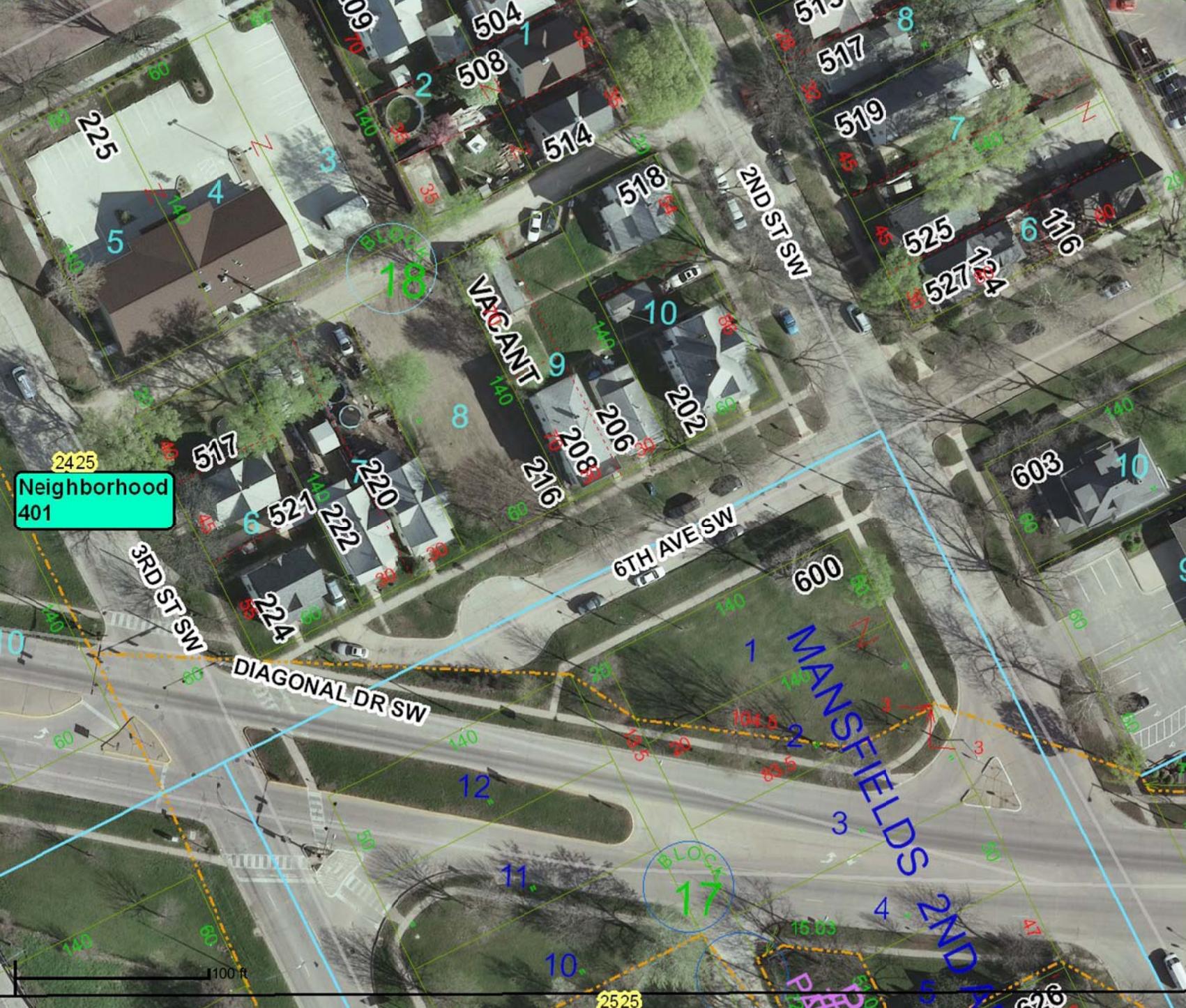
The TW Sather Company is proposing to reconstruct an area in central Cedar Rapids. The proposed site will include a multi-unit apartment complex with associated parking facilities. The site is designed to infiltrate the first 1 inch of rainfall runoff. A rain garden is planned within the receiving area of the proposed parking facility; the roof drains from the proposed apartment complex will also be routed to the proposed rain garden to the greatest extent practicable. The rain garden will overflow to a vertical standpipe which connects to the City of Cedar Rapids municipal storm sewer system. The site is designed to minimize the risk of flooding and property damage.

Please refer to the attached exhibits for more information.

I will be glad to discuss the project in more detail and answer any questions (608) 768-4806.

Sincerely,

Neil Pfaff, EIT, HIT, CST



LEGEND	
Parcel Polygons	
	Quarter Sections
	Assessment Neighborhood
Cartographic Symbols	
	Block Symbol, 0
	Block Symbol, 1
	Block Symbol, 4
	Block Symbol, 5
	Block Symbol, 6
	Chord, 2
	Dimension Arrow, 2
	Land Hook, 3
	Legal Arrow, 1
	Legal Arrow, 4
	Legal Arrow, 5
	Legal Arrow, 6
	Split Dimension Arrow, 3
Parcel Boundary	
	Corporate Boundary
	Lot Line
	Parcel
	Parcel Split
	Private Road
	Quarter Quarter Line
	Right of Way
	Subdivision Boundary
	Water
Streets	
	<all other values>
	Interstate
	Ramp
	Highway
	Unknown
	Surface
Corporate Limits	
	Alburnett
	Bertram
	Cedar Rapids
	Center Point
	Central City
	Coggon
	Ely
	Fairfax
	Hiawatha
	Lisbon
	Marion
	Mt Vernon
	Palo
	Prairieburg
	Robins
	Springville
	Walford
	Walker
Image	
	Red: Band_1
	Green: Band_2
	Blue: Band_3

2425
Neighborhood 401

100 ft

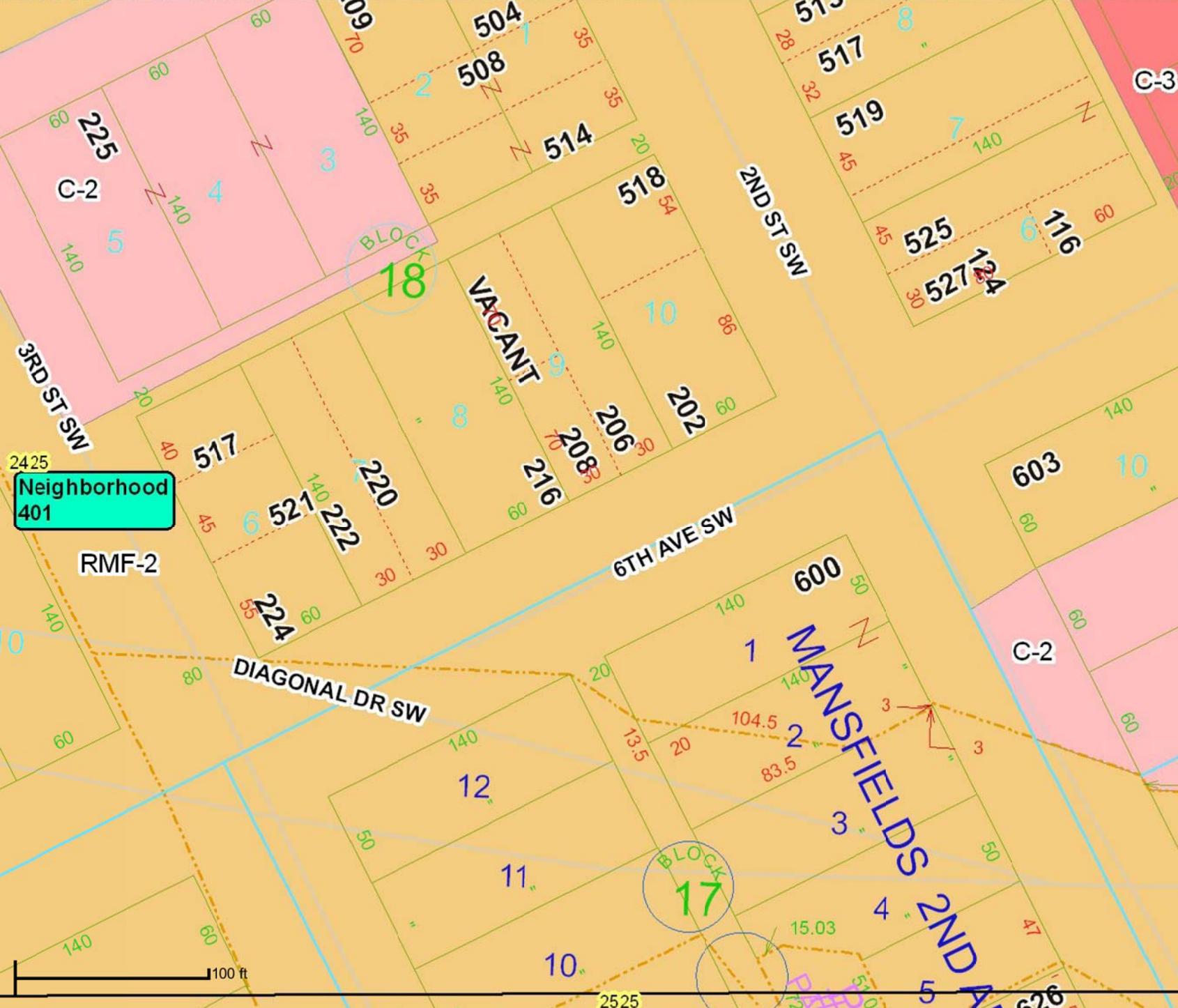


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PROPRIETARY INFORMATION: Any resale of this information is prohibited, except in accordance with a use agreement with the City of Cedar Rapids.

Tue May 6 13:57:20 CDT 2014



LEGEND	
Parcel Polygons	
Quarter Sections	[Symbol]
Assessment Neighborhood	[Symbol]
Cartographic Symbols	
Block Symbol, 0	[Symbol]
Block Symbol, 1	[Symbol]
Block Symbol, 4	[Symbol]
Block Symbol, 5	[Symbol]
Block Symbol, 6	[Symbol]
Chord, 2	[Symbol]
Dimension Arrow, 2	[Symbol]
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Legal Arrow, 6	[Symbol]
Split Dimension Arrow, 3	[Symbol]
Parcel Boundary	
Corporate Boundary	[Symbol]
Lot Line	[Symbol]
Parcel	[Symbol]
Parcel Split	[Symbol]
Private Road	[Symbol]
Quarter Quarter Line	[Symbol]
Right of Way	[Symbol]
Subdivision Boundary	[Symbol]
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Streets	
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R-3	[Symbol]
R-3D	[Symbol]
RTN	[Symbol]
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RMF-2	[Symbol]
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C-MU	[Symbol]
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C-5	[Symbol]
C-2	[Symbol]
C-R	[Symbol]
I-1	[Symbol]
I-2	[Symbol]
PUB	[Symbol]
AIR	[Symbol]
Corporate Limits	
Alburnett	[Symbol]
Bertram	[Symbol]
Cedar Rapids	[Symbol]
Center Point	[Symbol]
Central City	[Symbol]
Coggon	[Symbol]
Ely	[Symbol]
Fairfax	[Symbol]
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Marion	[Symbol]
Mt Vernon	[Symbol]
Palo	[Symbol]
Prairieburg	[Symbol]
Robins	[Symbol]
Springville	[Symbol]
Walford	[Symbol]
Walker	[Symbol]
Image	
Red: Band_1	[Symbol]
Green: Band_2	[Symbol]
Blue: Band_3	[Symbol]

Neighborhood 401

100 ft



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PROPRIETARY INFORMATION: Any resale of this information is prohibited, except in accordance with a use agreement with the City of Cedar Rapids.

Tue May 6 14:01:39 CDT 2014



The photo was taken looking north west on 22nd ST SW.



The photo was taken looking north west at the corner of 2nd St. SW and Diagonal Drive SW.



Site Photos



The photo was on the 2nd Street SW looking at the intersection of 2nd street and Diagonal Street.



The photo was taken looking south west on 6th Avenue SW.



Site Photos

Project Name: Kingston Village Apartments

Project Location: Cedar Rapids, Iowa



The photo was taken looking west .



The photo was taken looking south west on 6th Avenue.



Site Photos

Project Name: Kingston Village Appartments

Project Location: Cedar Rapids, Iowa

Page (3)



The photo was taken on 2nd Street looking to the south west down the Alley.



The photo was taken on 3rd Street looking north east down the Alley



Site Photos

Project Name: Kingston Village Apartments

Project Location: Cedar Rapids Iowa

Page (4)



The photo was taken on 3rd Street SW looking west towards the corner of 3rd Street SW and Diagonal Street. The houses in the photo will not be removed.



The photo was taken looking east on Diagonal Street SW.



Site Photos

Project Name: Kingston Village Apartments

Project Location: Cedar Rapids Iowa

Page (5)



The photo was taken at the dead end location on 6th Avenue SW.



Storm drain located at the dead end of 6th Avenue SW.





Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5822

STAFF REPORT TO CITY PLANNING COMMISSION
Preliminary Site Development Plan

CPC Date: May 29 2014
To: City Planning Commission
From: Development Services Department

Applicant: Compass Commercial Services
Titleholder: Cornerhouse Properties, LLC
Case Number: PSDP-009702-2014
Location: 2739 1st Avenue SE
Request: Preliminary Site Development approval for property zoned O-S, Office/Service Zone District and C-2, Community Commercial Zone District
Case Manager: Joe Mailander, Development Services Department

BACKGROUND INFORMATION:

The applicant is proposing the development of a new office building. A site plan was approved in 2012, but the applicant has added another parcel to the site and since the site plan has expired, the applicant is requesting new site plan approval. The Preliminary Site Development Plan as submitted includes the following:

- Total area of site: 42,937 s. f.
- Total area of proposed structure footprint: 6,000 s. f.
- Total number of stories: 3
- Total number of parking spaces required: 81 spaces
- Total number of parking spaces provided: 77 spaces including 4 handicap
- Street access: Single driveway from 28th Street Drive SE
- Storm water management: Storm Water Management provided
- Open space: 12,262 s. f. (28.8% of total site area)

The applicant is requesting the following three variances:

1. An Administrative Adjustment to reduce the required parking by 4 spaces.
2. Variance by the Board of Adjustment to allow parking in the corner side yard setback in the O-S Zoning District.
3. Variance to eliminate the requirement for a loading zone for buildings over 10,000 s. f.

FINDINGS:

Section 32.02.030.C.5.e of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

1. The Site Development Plan is consistent with the previously approved Preliminary Plans for the property (if applicable)

Staff comments: The proposed changes to this application are consistent with the previous approved site plan for this property.

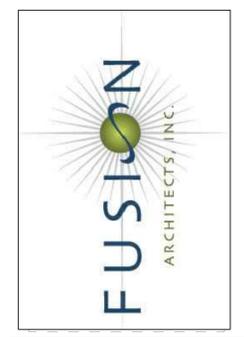
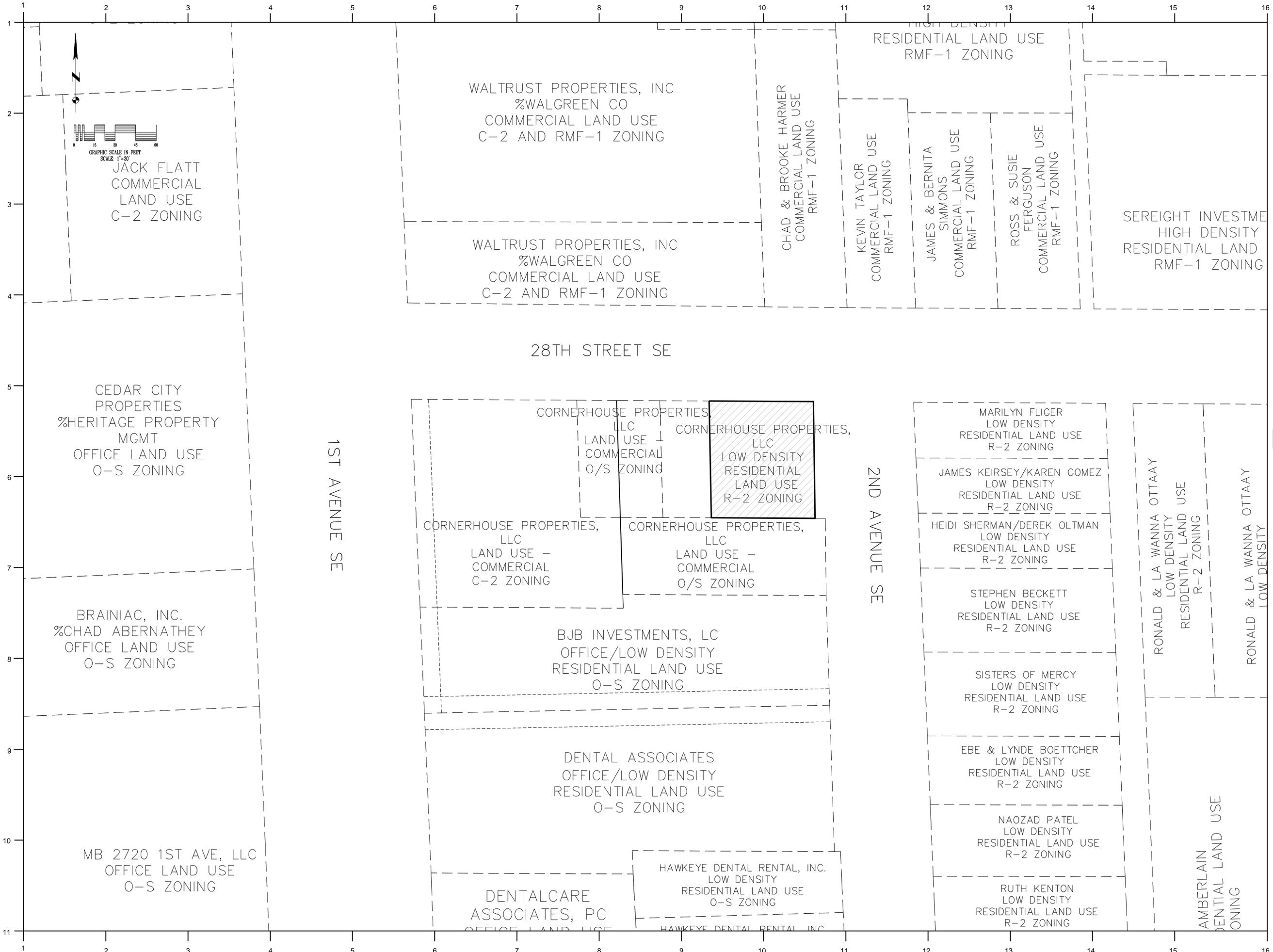
2. The Site Development Plan conforms to all applicable requirements of this Ordinance.

Staff comments: The site development plan conforms to all applicable requirements of the City's Zoning Ordinance and other applicable codes and regulations provided the conditions proposed by City staff are complied with.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed Preliminary Site Development Plan, adoption of the following conditions as recommended by City Departments should be considered. The City Planning Commission may approve with additional conditions.

1. Parking is not allowed within the corner side yard setback in an O-S District without obtaining a variance.
2. The existing structures shall be removed under appropriate permit and inspections conducted and approved.
3. Said lots are to be combined so as to constitute a single tax parcel.
4. Parking areas shall be screened from the adjoining public streets or a variance must be obtained.
5. Lighting fixtures shall be shielded in a manner that shall not direct illumination on adjacent residential properties, or on any public right-of-way.
6. That all structures exceeding 10,000 S.F. of gross floor area shall provide at least 1 off-street loading berth or a variance must be obtained.
- 7.



1641 BOYSON SQUARE DRIVE
SUITE 100
CEDAR RAPIDS, IOWA 52314

PHONE 319.393.9011
877.393.9022
FAX 319.395.7933

PRINTED

DATE	REMARKS

Revision Schedule

Rev#	Description	Date

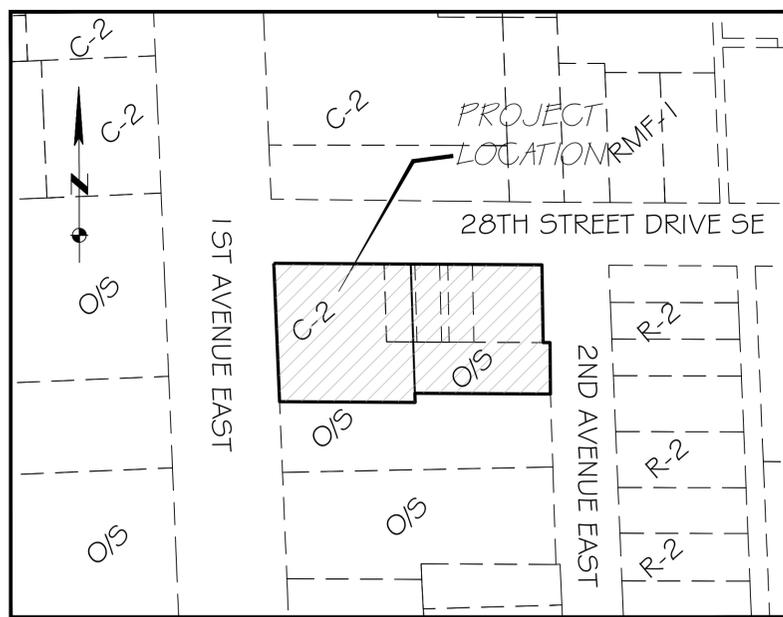
CORNERHOUSE SITE
1ST AVENUE AND 28TH STREET
DRIVE SE
SITE LOCATION MAP

DATE: 05 DECEMBER, 2013

PROJECT NO.
Project Number

A101

NOT FOR CONSTRUCTION



LOCATION MAP
(1" = 100')

APPLICANT/OWNER

AHMANN PROPERTIES, LLC & CORNERHOUSE PROPERTIES, LLC
C/O JOE AHMANN
1641 BOYSON SQUARE DRIVE, SUITE 100
HIAWATHA, IA 52233
PHONE (319) 395-7900
EMAIL JAHMANN@AHMANNDDESIGN.COM

EXISTING/PROPOSED USE

EXISTING USE: MEDICAL OFFICE
EXISTING USE: RETAIL & RESIDENTIAL
EXISTING: C-2, O/S
PROPOSED: C-2 & O/S

REQUESTED VARIANCES

-PARKING IN CORNER YARD SETBACK WITHIN O/S DISTRICT
-NO LOADING ZONE FOR BUILDINGS 10,000 S.F. OR LARGER

PARKING REQUIREMENTS

OFFICE MEDICAL (18,000 S.F.): 4.5/1000 GFA = 81 SPACES
REQUIRED SPACES: 81
PROVIDED SPACES: 77
REQ'D HANDICAPPED SPACES: 4
PROVIDED HANDICAPPED SPACES: 4
(ADMINISTRATIVE VARIANCE REQUESTED FOR 4 STALLS)

LEGAL DESCRIPTION

Suess Land and Cattle Co, LLC
Lot 2, Block 1, George T. Hedges First Addition to Cedar Rapids, Linn County, Iowa And Lot 1, except E-ly 34 feet thereof, Block 1, George T. Hedges First Addition to Cedar Rapids, Linn County, Iowa And E-ly 34 feet of Lot 1 and W 36 feet of Lot 16, Block 1, George T. Hedges First Addition to Cedar Rapids, Linn County, Iowa And East 36 feet of the West 72 feet of Lot 16, Block 1, George T. Hedges First Addition to Cedar Rapids, Linn County, Iowa AND
The North 6 feet of the South 16 feet of Lot 15, Block 1, George T. Hedges First Addition to Cedar Rapids, Linn County, Iowa And The North 50 feet of Lot 15, Block 1, George T. Hedges First Addition to Cedar Rapids, Linn County, Iowa AND
Lot 16, (except west 72 feet thereof) Block 1, George T. Hedges First Addition to Cedar Rapids, Linn County, Iowa, except the public highway.

GENERAL

-NO DETENTION HAS BEEN PROVIDED FOR THE SITE DUE TO THE SITE CONSTRAINTS AND BECAUSE THE SITE IS AN INFILL RE-DEVELOPMENT OF A SITE LESS THAN ONE ACRE IN SIZE. WATER QUALITY WILL BE PROVIDED BY THE USE OF BEST MANAGEMENT PRACTICES, AS FEASIBLE AND SHALL BE INCLUDED IN FINAL DESIGN PLANS.
-ALL EXISTING PAVEMENT AND STRUCTURES LOCATED ON THE PROPOSED DEVELOPMENT LOTS SHALL BE REMOVED PER APPLICABLE CITY, STATE AND COUNTY REGULATIONS
-ALL EXISTING SEWER, WATER AND UTILITY SERVICES LOCATED ON THE PROPOSED DEVELOPMENT LOTS SHALL BE REMOVED PER APPLICABLE CITY, STATE AND COUNTY REGULATIONS. EXACT LOCATIONS ARE UNKNOWN AND SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO DEMOLITION.

DIMENSIONAL STANDARDS

O/S
FRONT YARD: 25'+1'/3' STRUCTURE EXCEEDS 35' IN HEIGHT
INT. SIDE YARD: 5MIN., 15' COMBINED+1'/3' STRUCTURE EXCEEDS 45' IN HEIGHT
CORNER SIDE YARD: 15'+1'/3' STRUCTURE EXCEEDS 35' IN HEIGHT
REAR YARD: 15'+1'/3' STRUCTURE EXCEEDS 45' IN HEIGHT
FRONT YARD: 25'+1'/3' STRUCTURE EXCEEDS 45' IN HEIGHT
INT. SIDE YARD: 0' OR 1'/3' STRUCTURE EXCEEDS 45' IN HEIGHT
CORNER SIDE YARD: 15'
REAR YARD: 0' OR 1'/3' STRUCTURE EXCEEDS 45' IN HEIGHT
PROPOSED BUILDING HEIGHT IS 43' AND IS 3-STORIES

AREA CALCULATIONS

TOTAL EXISTING AREA - 42,937 SF (0.98 AC)
EXISTING PAVED AREA - 13,235 SF (0.30 AC)
EXISTING BUILDING AREA - 9,798 SF (0.22 AC)
EXISTING OPEN AREA - 19,904 SF (0.46 AC)
TOTAL PROPOSED AREA - 42,937 SF (0.98 AC)
PROPOSED PAVED AREA - 24,675 SF (0.56 AC)
PROPOSED BUILDING AREA (FOOTPRINT) - 6,000 SF (0.14 AC)
PROPOSED OPEN AREA - 12,262 SF (0.28 AC)

LEGEND

UTILITY LEGEND-EXISTING

- (SS8) SANITARY SEWER W/SIZE
- (ST15) STORM SEWER W/SIZE
- (WB) SUBDRAIN
- (FM6) FORCE MAIN W/SIZE
- (W2) WATER MAIN W/SIZE
- (G) GAS
- (S) STEAM
- (OHE) ELECTRIC-OVERHEAD
- (E) ELECTRIC-UNDERGROUND
- (C) CABLE TV-UNDERGROUND
- (OHC) CABLE TV-OVERHEAD
- (OHT) TELEPHONE-OVERHEAD
- (F) FIBER OPTIC-UNDERGROUND
- (OHF) FIBER OPTIC-OVERHEAD
- (T) TELEPHONE-UNDERGROUND
- /// FENCE LINE
- (FP) FLOODPLAIN LIMITS
- (FW) FLOODWAY LIMITS
- (CORP) CITY CORPORATE LIMITS
- 800 CONTOUR LINE
- ☀ LIGHT POLE W/O MAST
- ☀ LIGHT POLE W/MAST
- ☎ TELEPHONE POLE
- ⚡ POWER POLE
- ⚓ GUY ANCHOR
- ☎ GUY POLE
- ☎ TELEPHONE PEDESTAL
- ☎ TELEPHONE MANHOLE
- ☎ CABLE TV PEDESTAL
- ☎ UTILITY/CONTROL CABINET
- ☎ SANITARY MANHOLE
- ☎ STORM MANHOLE
- ☎ GRATE INTAKE
- ☎ RA-3 INTAKE
- ☎ RA-5 INTAKE
- ☎ RA-6 INTAKE
- ☎ RA-8 INTAKE
- ☎ HORSESHOE CATCH BASIN W/O FLUME
- ☎ HORSESHOE CATCH BASIN W/FLUME
- ☎ GAS VALVE
- ☎ FLARED END SECTION
- ☎ CLEANOUT, STORM OR SANITARY
- ☎ TRAFFIC SIGNAL W/MAST
- ☎ BOLLARD
- ☎ BENCHMARK
- ☎ STREET SIGN
- ☎ WELL
- ☎ SOIL BORING
- ☎ FIRE HYDRANT
- ☎ WATER VALVE
- ☎ WATER SHUTOFF
- ☎ WATER BLOWOFF

UTILITY LEGEND-PROPOSED

- SS8 SANITARY SEWER W/SIZE
- ST15 STORM SEWER W/SIZE
- FM6 FORCE MAIN W/SIZE
- W2 WATER MAIN W/SIZE
- CORP CITY CORPORATE LIMITS
- ☎ SANITARY MANHOLE
- ☎ STORM MANHOLE
- ☎ GRATE INTAKE
- ☎ RA-3 INTAKE
- ☎ RA-5 INTAKE
- ☎ RA-6 INTAKE
- ☎ RA-8 INTAKE
- ☎ HORSESHOE CATCH BASIN W/O FLUME
- ☎ FLARED END SECTION
- ☎ CLEANOUT, STORM OR SANITARY
- ☎ FIRE HYDRANT
- ☎ WATER VALVE
- ☎ WATER SHUTOFF
- ☎ WATER BLOWOFF

SURVEY LEGEND

- SET REBAR W/CAP NO.
- FOUND SURVEY MONUMENT AS NOTED
- △ FOUND RIGHT OF WAY RAIL
- ▲ SECTION CORNER SET AS NOTED
- ✕ SECTION CORNER FOUND AS NOTED
- () CUT "X" IN CONCRETE
- RECORDED AS
- EASEMENT LINE
- PLAT OR SURVEY BOUNDARY
- PLAT LOT LINE
- CENTERLINE
- SECTION LINE
- 1/4 SECTION LINE
- 1/4-1/4 SECTION LINE
- EXISTING LOT LINE
- BUILDING SETBACK LINE

PLANT LEGEND

- ☁ DECIDUOUS TREE
- ☁ CONIFEROUS TREE
- ☁ DECIDUOUS SHRUB
- ☁ CONIFEROUS SHRUB
- ☁ TREE STUMP
- ☁ TREE LINE DRIP EDGE

NOTE: THIS IS A STANDARD LEGEND. SOME ITEMS MAY NOT APPEAR ON DRAWINGS.

LANDSCAPE REQUIREMENTS

1ST AVENUE SE
STREET TREES IN ROW
TREES: 151'/40=3.8 TREES, 4 PROVIDED
STREET FRONT LANDSCAPING (FRONT YARD 15' AVG. DEPTH)
TREES: 151'/50= 3.0 TREES, 3 PROVIDED
SHRUBS (151*15)*(6/1000)=13.6 SHRUBS, 18 PROVIDED

28TH STREET SE
STREET TREES IN ROW
TREES: (293'-24')/40=6.7 TREES, 7 PROVIDED
STREET FRONT LANDSCAPING (SIDE YARD 10' AVG. DEPTH)
TREES: (293'-24')/50=5.4 TREES, 6 PROVIDED
SHRUBS ((293'-24')*10)*(6/1000)=16.1 SHRUBS, 20 PROVIDED

2ND AVENUE SE
STREET TREES IN ROW
TREES: 141'/40=3.5 TREES, 4 PROVIDED
STREET FRONT LANDSCAPING (REAR YARD 5' AVG. DEPTH)
TREES: 141'/50=2.8 TREES, 3 PROVIDED
SHRUBS (141*5)*(6/1000)=4.2 SHRUBS, 12 PROVIDED

PARKING LOT TREES
REQUIRED: 1 TREE PER 12 STALLS (76 STALLS/12)=6.3(7) TREES, 7 TREES PROVIDED

BUFFERYARDS

FRONT YARD:
NONE REQUIRED, FRONTAGE ON CITY RIGHT OF WAY

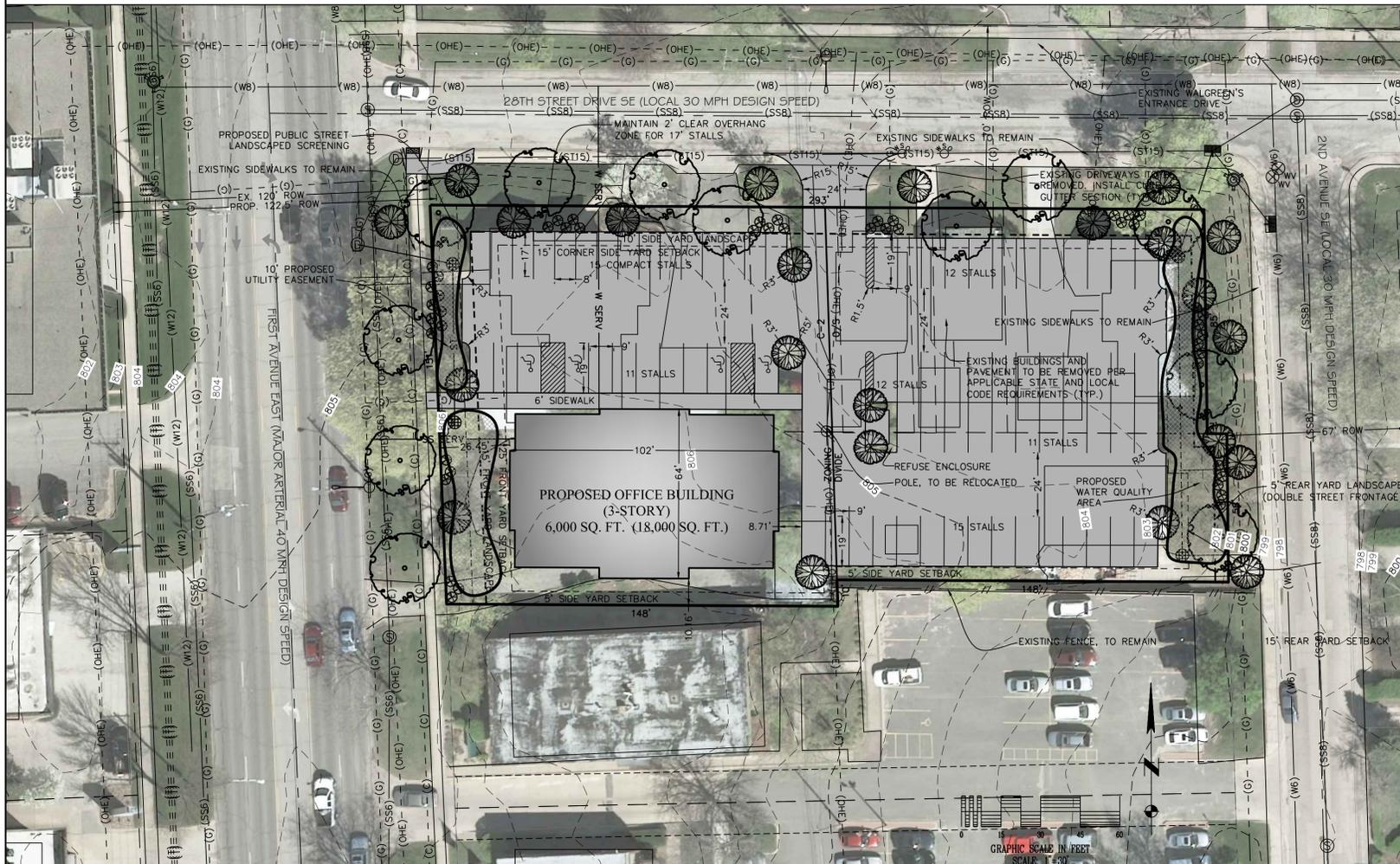
REAR YARD:
NONE REQUIRED, FRONTAGE ON CITY RIGHT OF WAY

SIDE YARD:
NONE REQUIRED, SIMILAR ZONING

-1ST AVENUE STREET FRONT LANDSCAPE WILL UTILIZE THE AVERAGE DEPTH RULE ALLOWED UNDER THE CITY ZONING ORDINANCE TO ACCOMMODATE THE MINIMAL ENCROACHMENT OF THE PARKING IN THE LANDSCAPE AREA.

-UP TO 20% OF THE SHRUBS SHOWN MAY BE SUBSTITUTED WITH PERENNIAL FLOWERS AND ORNAMENTAL GRASSES AT A RATE OF 4 PER SHRUB.

-PROPOSED LANDSCAPING WILL EXCEED THE CODE REQUIREMENTS TO ENHANCE THE SITE AND TO MINIMIZE IMPACT ON THE ADJOINING PROPERTIES.



Contact Person	CHAD M. PELLEY, P.E.
Telephone Number	(319) 395-7900
Fax Number	(319) 395-7933
Mailing Address	1641 BOYSON SQUARE DRIVE, SUITE 100
E-Mail Address	CPHELLEY@COMPASS-BUILT.COM
Date Submitted	04/16/14
Date Revised	
Date Revised	
Date Revised	



1641 BOYSON SQUARE DRIVE
SUITE 100
CEDAR RAPIDS, IOWA 52314

PHONE 319.393.9011
877.393.9022
FAX 319.395.7933

PRINTED

DATE	REMARKS

Revision Schedule

Rev#	Description	Date

CORNERHOUSE PROPERTY

2739 1ST AVENUE SE,
CEDAR RAPIDS, IOWA

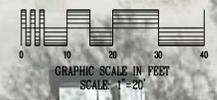
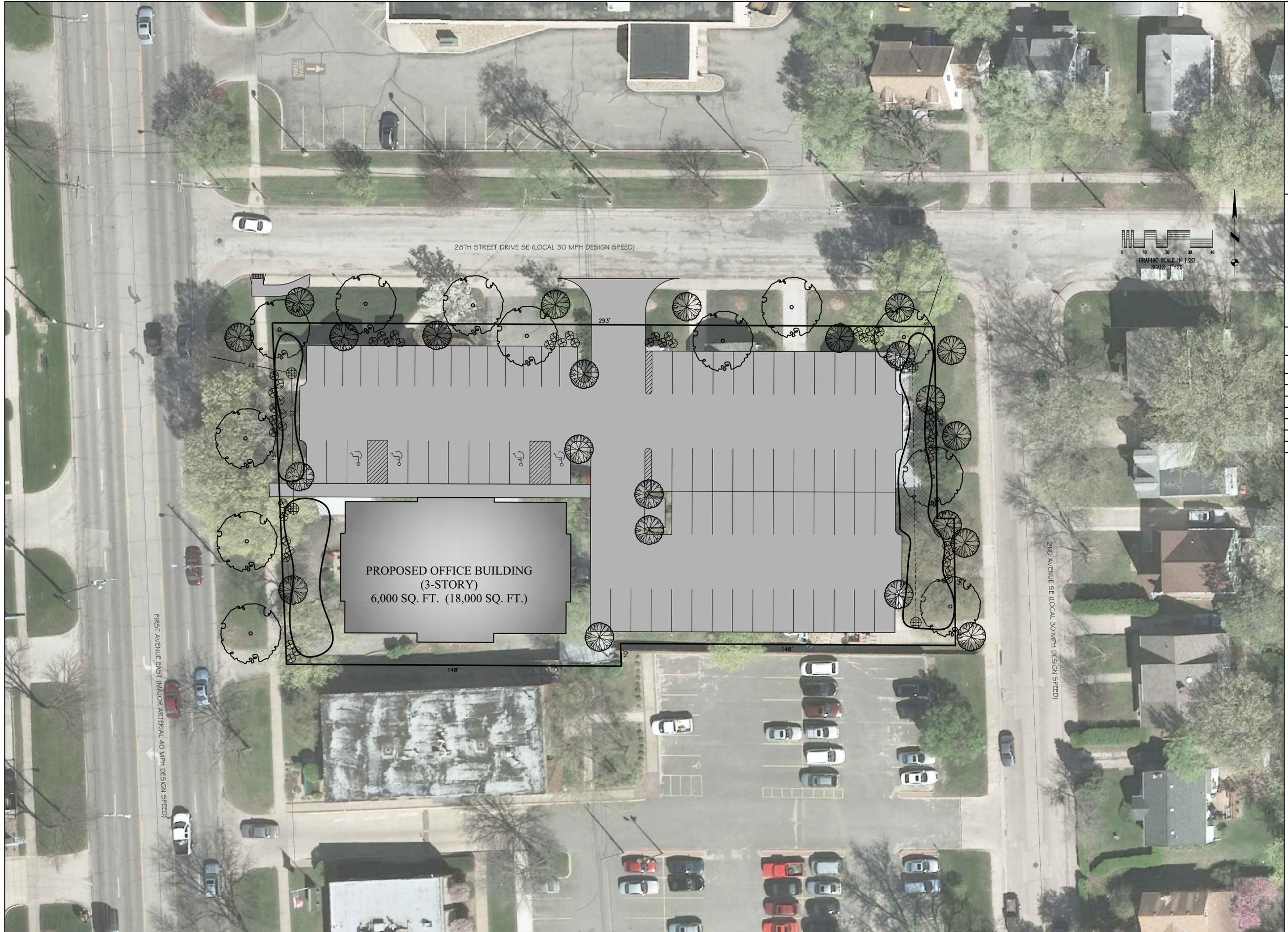
PRELIMINARY SITE
DEVELOPMENT PLAN

DATE: 01 SEPTEMBER, 2013

PROJECT NO.
26312

A101

NOT FOR CONSTRUCTION



1641 BOYSON SQAURE DRIVE
SUITE 100
CEDAR RAPIDS, IOWA 52314

PHONE 319.393.9011
877.393.9022
FAX 319.395.7933

PRINTED

DATE	REMARKS

Revision Schedule		
Rev#	Description	Date

CORNERHOUSE PROPERTY
2739 1ST AVENUE SE,
CEDAR RAPIDS, IOWA

**PRELIMINARY SITE
DEVELOPMENT PLAN**

DATE: 01 SEPTEMBER, 2013

PROJECT NO.
26312

A101



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5168

STAFF REPORT TO CITY PLANNING COMMISSION
Conditional Use with a Preliminary Site Development Plan

CPC Date: May 29, 2014
To: City Planning Commission
From: Development Services Department

Applicant: AT&T Wireless
Titleholder: Immanuel Baptist Church
Case Number: COND-009542-2014
Location: 1900 "F" Avenue NW
Request: Conditional Use approval for a Communications Tower in a R-2, Single Family Residence Zone District
Case Manager: Dave Houg, Development Services Department

BACKGROUND INFORMATION:

The applicant is requesting a Conditional Use for a 125 foot high Communications Tower in an R-3, Single Family Residence Zone District for the property at 1900 "F" Avenue NW as requested by AT&T Wireless.

The site details are as follows:

- The proposed site hosting the communications tower is 8.03 acres.
- No parking is required or provided; the communication tower does not require any employees.
- Landscaping requirements include an evergreen screen and 8 foot high security fence surrounding the tower and equipment.
- The communications tower is self-supporting, not requiring guy wires or anchors.

FINDINGS:

Section 32.02.030.D. of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. That the conditional use applied for is permitted in the district within which the property is located.**

Staff Comments: "Communication Towers" require conditional use approval in a residential zoning district if the height of the tower exceeds 80 feet. This proposed tower would be 125 feet in height.

- 2. That the proposed use and development will be consistent with the intent and purpose of this Ordinance and with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.**

Staff Comments: The proposed development will be consistent with the intent and purpose of the Zoning Ordinance since communication towers are allowed as a conditional use in residential zoning districts. The general area is residential development.

- 3. That the proposed use and development will not have a substantial adverse effect upon adjacent property, and the character of the neighborhood, traffic conditions, parking, utility and service facilities, and other factors affecting the public health, safety, and welfare.**

Staff Comments: The proposed use is not expected to have an adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility and service facilities, and other factors affecting the public health, safety, and welfare.

- 4. That the proposed development or use will be located, designed, constructed and operated in such a manner that it will be compatible with the immediate neighborhood and will not interfere with the orderly use, development and improvement of surrounding property.**

Staff Comments: The location of the proposed 125-foot tall monopole tower is an open field set back from surrounding dwellings with a 100% fall zone. The ground mounted equipment will be screened with a combination of an 8-foot high solid fence and screen plantings. As noted in the above finding, the proposed development should not interfere with the orderly use, development and improvement of surrounding property.

- 5. That adequate measure have been or will be taken to assure adequate access designed to minimize traffic congestion and to assure adequate service by essential public services and facilities including utilities, storm water drainage, and similar facilities.**

Staff Comments: The proposed communication tower will not create any additional traffic and the only facilities required are electrical service. It should be noted that the City Zoning Ordinance requires new tower construction to be built to accommodate at least two additional service providers equipment including antennas and ground mounted equipment.

- 6. That the proposed building, development, or use will comply with any additional standards imposed on it by provisions of this Ordinance for the district in which the property is located.**

Staff Comments: The proposed building, development, or use will comply with any additional standards imposed on it by provisions of this Ordinance for the district in which the property is located.

- 7. Whether, and to what extent, all reasonable steps possible have been, or will be, taken to minimize any potential adverse effects on the surrounding property through building design, site design, landscaping, and screening.**

Staff Comments: Screen fencing and landscaping is planned to reduce the visual impact associated with the ground-mounted equipment. The communication tower regulations in the City Zoning Ordinance require the tower to be painted a color that blends with the backdrop/skyline.

RECOMMENDED CONDITIONS:

If the City Planning Commission recommends approval of the proposed conditional use, adoption of the following condition as recommended by staff should be considered:

1. That the development shall comply with all applicable Zoning Ordinance requirements in Section 32.04.030.A.8. and Municipal Code Section 32D.

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



AT&T MOBILITY

PROJECT: NSB - RAW LAND
NUMBER: DESMIAU5313
FA NUMBER: 12567168
ROOSEVELT MIDDLE SCHOOL
CEDAR RAPIDS, IA 52405
RFDS DATED: 03/20/14
△ 1 RAD CENTER: 115'-0"



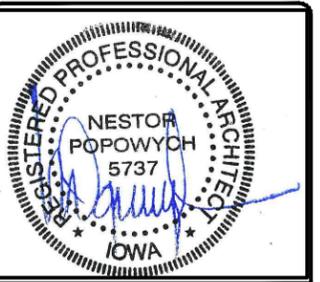
4300 MARKET POINTE DR.
BLOOMINGTON, MN 55435



1501 E. WOODFIELD ROAD, SUITE #300E
SCHAUMBURG, IL 60173
www.sacw.com
847-944-1600

DRAWN BY: AJA
CHECKED BY: AA

REV	DATE	DESCRIPTION
1	05/01/14	ISSUED FOR CONSTRUCTION
0	03/25/14	ISSUED FOR CONSTRUCTION
B	03/17/14	90% FOR CONSTRUCTION



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT.

DESMIAU5313
ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T1

PROJECT INFORMATION

SITE ADDRESS: 1900 F AVENUE NW
CEDAR RAPIDS, IA 52405

COUNTY: LINN
SITE NAME: ROOSEVELT MIDDLE SCHOOL
SITE NUMBER: DESMIAU5313
FA NUMBER: 12567168
USID NUMBER: 150594

LATITUDE: N41° 58' 53.299"
LONGITUDE: W91° 42' 02.685"
GROUND ELEVATION: 778.8'

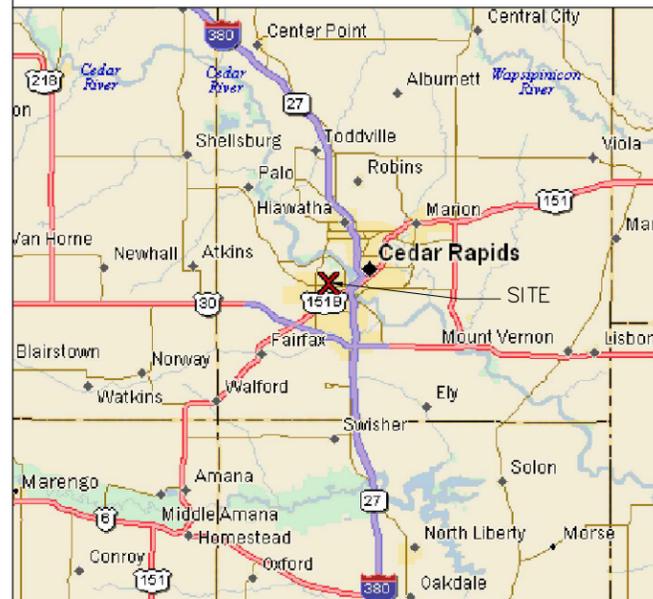
TOWER OWNER: AT&T MOBILITY LLC
GROUND OWNER: 5601 LEGACY DRIVE, MS-A3
PLANO, TX 75024

LANDLORD CONTACT: IMMANUEL BAPTIST CHURCH
DAN WERSEMA
DAN.WERSEMA@IMMANUELCHR.ORG
319-365-9115

APPLICANT: AT&T WIRELESS
4300 MARKET POINTE DR - STE 350
BLOOMINGTON, MN 55435

PROJECT MANAGER: DOUGLAS BROWN
952-656-9224

VICINITY MAP



LOCATION MAP



PREPARED BY

SAC WIRELESS: ARCHITECTURE
 1501 E WOODFIELD ROAD SUITE 300
 SCHAUMBURG, ILLINOIS 60173
 TEL: (847) 944-1600
 WWW.SACW.COM

PROJECT INFORMATION

JURISDICTION: LINN

CODES: IBC 2010
ZONING: R-2
CONSTRUCTION TYPE: V-B
- OCCUPANCY: U
LAND USE ZONE: R-3

HANDICAP REQUIREMENTS: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ADA ACCESS REQUIREMENTS DO NOT APPLY.

DRAWING INDEX

T1	TITLE SHEET
SP1-SP4	NOTES & SPECIFICATIONS
A1	SITE PLAN & LEGEND
A2	COMPOUND PLAN
A3	TOWER ELEVATION & ANTENNA PLAN
A4	ANTENNA SCHEDULE AND COLOR CODING
A5	ANTENNA, RRH, SURGE SUPPRESSOR MOUNTING DETAILS
A6	SHELTER FOUNDATION DETAILS
A7	FENCE DETAILS & MATERIAL NOTES
A8	SITE DETAILS
A9	SHELTER PLAN AND ELEVATIONS
E1	COMPOUND ELECTRIC PLAN
E2	EQUIPMENT ELECTRIC PLAN AND DETAILS
E3	ELECTRICAL SLD AND PANEL SCHEDULE
E4	SHELTER GROUNDING PLAN & DETAILS
E5	EQUIPMENT GROUNDING PLAN & DETAILS
E6	ANTENNA GROUNDING - SLD
E7	GROUNDING DETAILS
RF1	RFDS PLUMBING DIAGRAM
SIGN	SIGNAGE REQUIREMENTS

PROJECT CONSULTANTS

ARCHITECT OF RECORD: SAC WIRELESS: NESTOR POPOWYCH
1501 E WOODFIELD ROAD SUITE 300
SCHAUMBURG, ILLINOIS 60173
TEL: (847) 944-1600
WWW.SACW.COM

STRUCTURAL ENGINEER: N/A

LAND SURVEYOR: ASSOCIATED ENGINEERING
2705 NORTH MAIN STREET
OMAHA, NE 68022
(402) 289-5040

SITE ACQUISITION & ZONING: SAC WIRELESS
1501 E WOODFIELD ROAD SUITE 300
SCHAUMBURG, ILLINOIS 60173
CONTACT: BEN RUSSELL
EMAIL: BEN.RUSSELL@SACW.COM

CONSTRUCTION MANAGER: SAC WIRELESS
1501 E WOODFIELD ROAD SUITE 300
SCHAUMBURG, ILLINOIS 60173
CONTACT: JOSEPH FISHER
EMAIL: JOSEPH.FISHER@SACW.COM

PROJECT DESCRIPTION

THESE DOCUMENTS ARE PART OF AN APPLICATION TO DEVELOP AN UNMANNED COMMUNICATIONS FACILITY CONSISTING OF A PREFABRICATED EQUIPMENT BUILDING, CONNECTING CABLES, DIRECTIONAL ANTENNAS, & GPS. THE SIZE, HEIGHT, & DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS. THE ANTENNAS WILL PROVIDE CLEAR AND RELIABLE COMMUNICATIONS WITHIN THE SURROUNDING COUNTY. THESE INTERCONNECTS WILL ALLOW FOR AN INDEPENDENT COMMUNICATION NETWORK THAT CAN CONTINUE TO FUNCTION IF THE TELEPHONE (WIRE) SERVICE IS DISCONNECTED DURING AN EMERGENCY OR NATURAL DISASTER. THESE FACILITIES WILL ENHANCE THE GENERAL HEALTH, SAFETY, AND WELFARE OF THE COMMUNITY AND SURROUNDING AREAS BY PROVIDING RELIABLE COMMUNICATIONS AROUND THIS LOCATION.

EMERGENCY CONTACT INFORMATION

LOCAL POWER: ALLIANT ENERGY
FIRE DEPARTMENT: CEDAR RAPIDS FIRE DEPARTMENT
319-286-5200
TELCO PROVIDER: CENTURYLINK
POLICE DEPARTMENT: CEDAR RAPIDS POLICE DEPARTMENT
319-286-5375

DIRECTIONS FROM AT&T OFFICE:

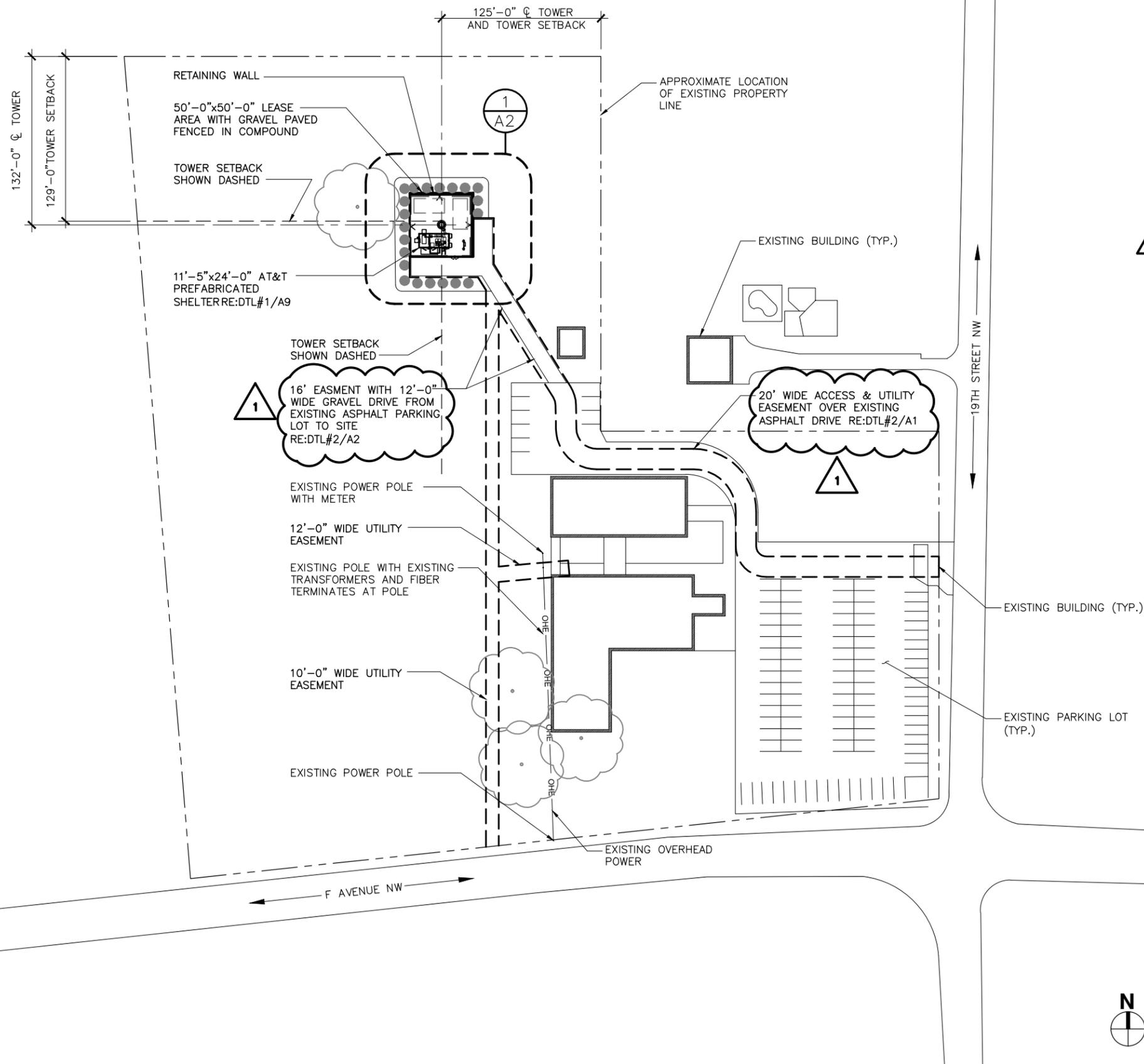
GO SOUTH ON JOHNSON AVENUE S, TURN EAST NORTH EAST ONTO W 78TH STREET, TURN SOUTH ONTO CR 17, GO EAST ONTO I-494 RAMP, TAKE EXIT 5B, KEEP SOUTH ONTO I-35W S RAMP, GO SOUTH ONTO I-35 S, TAKE EXIT 142A, KEEP EAST ONTO US 20 RAMP, KEEP EAST NORTH EAST ONTO I-380 S RAMP, KEEP SOUTH CONTINUE S ON I-350. EXIT 20A F AVE (SR-94) CONTINUE WEST. SITE WILL BE ON NW CORNER OF F AVE & 19TH ST.

OTHER REQUIREMENTS

THIS FACILITY HAS NO PLUMBING OR PARKING. CALL 811 AS THE NATIONAL, TOLL FREE NUMBER FOR ALL LOCAL 'CALL BEFORE YOU DIG' PHONE CENTERS THROUGHOUT THE UNITED STATES

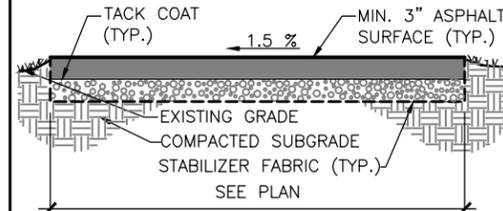


TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN NEBRASKA, CALL DIGGER'S HOTLINE OF IOWA
TOLL FREE: 1-800-331-5666
 STATUTE REQUIRES MIN OF 2 BUSINESS DAYS NOTICE BEFORE YOU EXCAVATE



ASPHALT PAVEMENT NOTE
 CONTRACTOR TO VERIFY ASPHALT PAVEMENT.

ACCESS DRIVE
 BASE COURSE: 6" MIN. OF COMPACTED CA-3 COARSE AGGREGATE.
 TOP COURSE: 3" MIN. OF ASPHALT PAVEMENT.



ASPHALT PAVING DETAIL
 NOT TO SCALE

- GENERAL NOTES:**
- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
 - DO NOT SCALE DIMENSIONS FROM THIS DRAWING.
 - ALL EXISTING RECORDED EASEMENTS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECT'S KNOWLEDGE PER VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM AT&T WIRELESS.
 - REFER TO SP1 AND SP2 FOR EROSION CONTROL AND SOIL STABILIZATION METHODS

SURVEY BENCHMARK/PROJECT DATUM

LOCATION: SEE LAND SURVEY
 ELEVATION: SEE LAND SURVEY
 LATITUDE: SEE LAND SURVEY
 LONGITUDE: SEE LAND SURVEY

PROJECT DATUM: 779.50' A.M.S.L.
 (TOP OF CAISSON = +0.00)

LEGEND

EXISTING		NEW
— SAS —	SANITARY SEWER	— SAS —
— STS —	STORM SEWER	— STS —
— W —	WATER MAIN	— W —
(RIM INV)	SANITARY MANHOLE ELEVATIONS	(RIM INV)
(RIM INV)	STORM STRUCTURE ELEVATIONS	(RIM INV)
---	PROPERTY LINE & R.O.W.	---
↗	SURFACE DRAINAGE	↗
○	LIGHT STANDARD	●
○	STREET LIGHT	●
672.75	SPOT ELEVATION	672.75
672	CONTOUR	672
672	CONTOUR TO BE REGRADED	672
— G — G —	GAS MAIN	— G — G —
⊙	MANHOLE	⊙
○	CATCH BASIN	●
⊕	FIRE HYDRANT	●
---	EASEMENT LINE	---
-x-x-x-x-	FENCE	-x-x-x-x-
---UE/UT---	BURIED UTILITY LINE	---UE/UT---
∅	UTILITY POLE	∅
— OHE —	OVERHEAD UTILITY LINE	— OHE —
	BUILDING	

4300 MARKET POINTE DR.
 BLOOMINGTON, MN 55435

A&E

1501 E. WOODFIELD ROAD, SUITE #300E
 SCHAUMBURG, IL 60173
 www.sacw.com
 847-944-1600

DRAWN BY: AJA
 CHECKED BY: AA

REV	DATE	DESCRIPTION
1	05/01/14	ISSUED FOR CONSTRUCTION
0	03/25/14	ISSUED FOR CONSTRUCTION
B	03/17/14	90% FOR CONSTRUCTION

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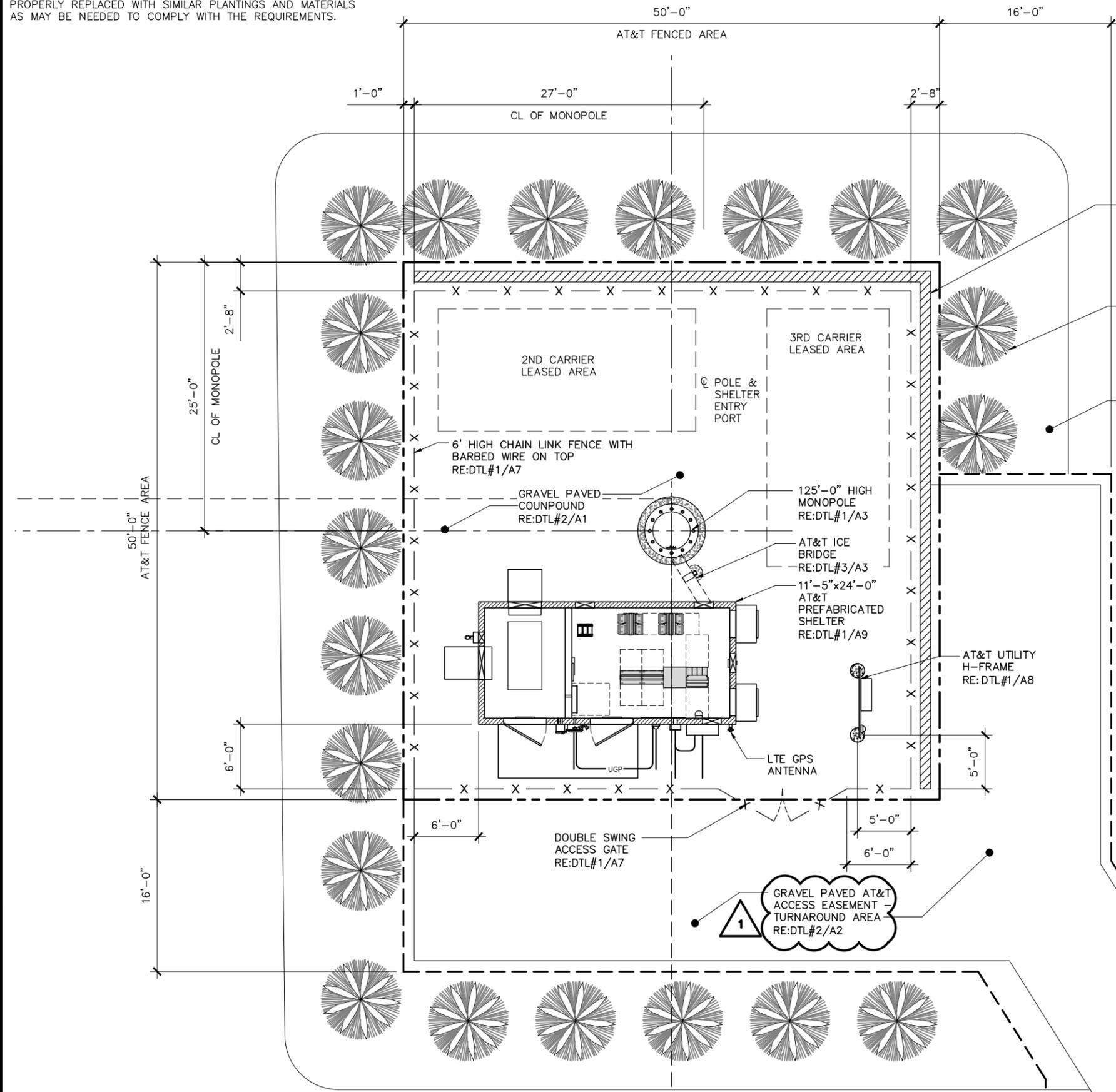
DESMIAU5313
 ROOSEVELT MIDDLE SCHOOL
 1900 F AVENUE NW
 CEDAR RAPIDS, IA 52405
 MONOPOLE

SHEET TITLE
SITE PLAN & LEGEND

SHEET NUMBER
A1

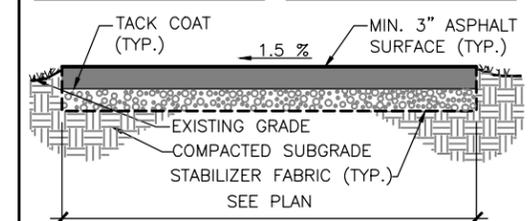
SITE PLAN
 SCALE: 1" = 90'-0"

LANDSCAPING NOTE: ANY PLANTINGS AND OTHER FEATURES USED TO SCREEN SHALL BE MAINTAINED AT ALL TIMES AND PROPERLY REPLACED WITH SIMILAR PLANTINGS AND MATERIALS AS MAY BE NEEDED TO COMPLY WITH THE REQUIREMENTS.



ASPHALT PAVEMENT NOTE
CONTRACTOR TO VERIFY ASPHALT PAVEMENT.

ACCESS DRIVE
BASE COURSE: 6" MIN. OF COMPACTED CA-3 COARSE AGGREGATE.
TOP COURSE: 3" MIN. OF ASPHALT PAVEMENT.



SIENA CAST STONE RETAINING WALL

ONE ROW OF SHRUBS AROUND PERIMETER
TECHNY ARBORVITAE SCREENING AROUND FENCE
- 5FT HEIGHT AT TIME OF PLANTING 10' ON CENTER MAXIMUM.

LANDSCAPING FABRIC & 3" THICK MULCH LAYER
±10'-12' WIDTH

4300 MARKET POINTE DR.
BLOOMINGTON, MN 55435

A&E

1501 E. WOODFIELD ROAD, SUITE #300E
SCHAUMBURG, IL 60173
www.sacwi.com
847-944-1600

DRAWN BY: AJA
CHECKED BY: AA

REV	DATE	DESCRIPTION
1	05/01/14	ISSUED FOR CONSTRUCTION
0	03/25/14	ISSUED FOR CONSTRUCTION
B	03/17/14	90% FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT.

DESMIAU5313
ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
COMPOUND PLAN

SHEET NUMBER
A2

LEGEND

EXISTING		NEW
— SAS —	SANITARY SEWER	— SAS —
— STS —	STORM SEWER	— STS —
— W —	WATER MAIN	— W —
(RIM INV)	SANITARY MANHOLE ELEVATIONS	(RIM INV)
(RIM INV)	STORM STRUCTURE ELEVATIONS	(RIM INV)
---	PROPERTY LINE & R.O.W.	---
↗	SURFACE DRAINAGE	↗
○	LIGHT STANDARD	●
○	STREET LIGHT	●
672.75	SPOT ELEVATION	672.75
672	CONTOUR	672
672	CONTOUR TO BE REGRADED	672
— G — G —	GAS MAIN	— G — G —
⊙	MANHOLE	⊙
○	CATCH BASIN	●
⊕	FIRE HYDRANT	●
---	EASEMENT LINE	---
-x-x-x-x-	FENCE	-x-x-x-x-
---UE/UT---	BURIED UTILITY LINE	---UE/UT---
∅	UTILITY POLE	∅
— OHE —	OVERHEAD UTILITY LINE	— OHE —
////	BUILDING	////

COMPOUND PLAN
SCALE: 3/32" = 1'-0"

1

STRUCTURAL NOTES:

1. TOWER STRUCTURAL CALCULATIONS PREPARED BY OTHERS. CONTRACTOR TO VERIFY WITH PROJECT MANAGER TO OBTAIN A COPY
2. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

TOP OF AT&T LIGHTNING ROD
ELEVATION: 125'-0"

CL AT&T ANTENNAS
ELEVATION: 115'-0"

AT&T ANTENNAS, RRUS, AND TMAS ON NEW ANTENNA PLATFORM WITH GUARDRAIL RE:DTL#2/A3

OTHER CARRIER FUTURE ANTENNAS (TYP.) EXACT ANTENNA RAD CENTERS TBD AT A LATER DATE

AT&T CABLING (COAX, FIBER, DC POWER CABLES) ROUTED UP INSIDE TOWER TO ANTENNA LEVEL SUPPORTED BY HOISTING GRIPS HUNG FROM J-HOOKS INSIDE POLE.

ANTENNA NOTES:

1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO ACHIEVE THE AZIMUTHS SPECIFIED AND LIMIT SHADOWING AND TO MEET THE SYSTEM REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY THE HEIGHT OF THE ANTENNA WITH THE AT&T WIRELESS PROJECT MANAGER.
3. VERIFY TYPE AND SIZE OF TOWER LEG PRIOR TO ORDERING ANY ANTENNA MOUNT.
4. UNLESS NOTED OTHERWISE THE CONTRACTOR MUST PROVIDE ALL MATERIAL NECESSARY.
5. ANTENNA AZIMUTHS ARE DEGREES OFF OF TRUE NORTH, BEARING CLOCKWISE, IN WHICH ANTENNA FACE IS DIRECTED. ALL ANTENNAS (AND SUPPORTING STRUCTURES AS PRACTICAL) SHALL BE ACCURATELY ORIENTED IN THE SPECIFIED DIRECTION.
6. CONTRACTOR SHALL VERIFY ALL RF INFORMATION PRIOR TO CONSTRUCTION.
7. SWEEP TEST SHALL BE PERFORMED BY GENERAL CONTRACTOR AND SUBMITTED TO AT&T WIRELESS CONSTRUCTION SPECIALIST. TEST SHALL BE PERFORMED PER AT&T WIRELESS STANDARDS.

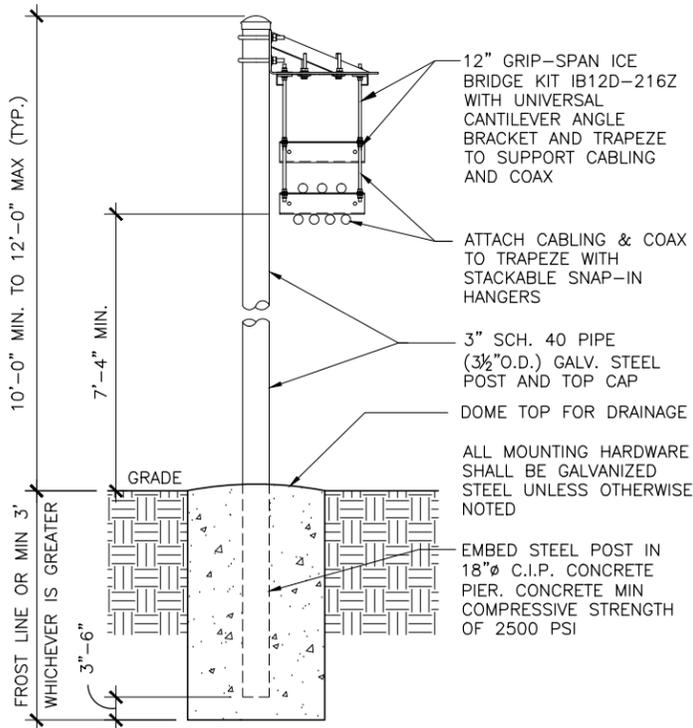
(1) FIBER TRUNK AND (5) 3-PAIR DC POWER TRUNK ROUTED INSIDE MONOPOLE

11'-5"x24'-0" EQUIPMENT SHELTER
RE: DTL #1/A9

NEW CHAIN LINK FENCE
RE: DTL#1/A7

T/GRADE @ TOWER
EL: 0'-0" (779.0' AMSL)

TOWER ELEVATION
SCALE: 1/16"=1'-0"



ICE/CABLE BRIDGE DETAIL
SCALE: 1/2" = 1'-0"

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

SITE WORK:

- INSTALL GRAVEL PAVING FOR ACCESS EASEMENT AND COMPOUND EXTENSION
- INSTALL (1) 11'-5"x24'-0" FIBERBOND EQUIPMENT SHELTER
- INSTALL (1) ICEBRIDGE W/ SUPPORT POST (APPROX. 20'-9" LONG)
- INSTALL (1) CHAINLINK FENCE, AS PER DRAWING
- INSTALL (1) H-FRAME W/METER SOCKET, DISCONNECT, & HOFFMAN BOX

TOWER WORK:

- INSTALL (3) SECTOR FRAMES
- INSTALL (1) LOW PROFILE PLATFORM P/N# ANDREW MC-PK12S-9-72WITH UPPER SUPPORT RAIL P/N# MT-195-12
- INSTALL (6) RRH LTE 700L P2, 2 PER SECTOR
- INSTALL (3) RRH LTE PCS, 1 PER SECTOR
- INSTALL (9) ANTENNAS 3 PER SECTOR
- INSTALL (3) DTMA'S , 1 PER SECTOR
- INSTALL (2) RAYCAP DC6-48-60-18-8F SURGE PROTECTION UNIT
- INSTALL (12) ANDREW P/N# MT-537 ANTENNA MOUNTING PIPES
- INSTALL (MULTIPLE) ANDREW P/N# MT-219-H PIPE MOUNT KIT
- INSTALL (6) COAX CABLE
- INSTALL (6) DC POWER CABLE
- INSTALL (1) FIBER CABLE
- INSTALL (1) ALARM CABLE

SHELTER WORK:

- INSTALL (1) EMERSON POWER BAY
- INSTALL (1) EMERSON BATTERY STACK
- INSTALL (3) 23" FIF RACKS
- INSTALL (3) UMTS 1900 (2X60) RRH'S, MOUNTED TO FIF RACK
- INSTALL (2) RACK MOUNTED SS-DC-48-60-RM
- INSTALL (6) KATHREIN 782-11320 DIPLEXERS, 2 PER SECTORS
- INSTALL (1) GENERATOR
- INSTALL (1) LTE GPS UNIT

PROJECT DESCRIPTION



4300 MARKET POINTE DR.
BLOOMINGTON, MN 55435

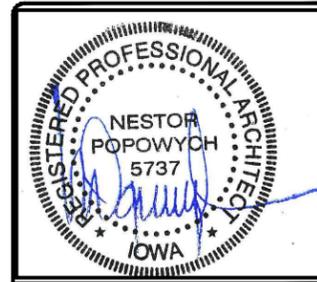
A&E



1501 E. WOODFIELD ROAD, SUITE #300E
SCHAUMBURG, IL 60173
www.sacw.com
847-944-1600

DRAWN BY: AJA
CHECKED BY: AA

REV	DATE	DESCRIPTION
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0	03/25/14	ISSUED FOR CONSTRUCTION
B	03/17/14	90% FOR CONSTRUCTION



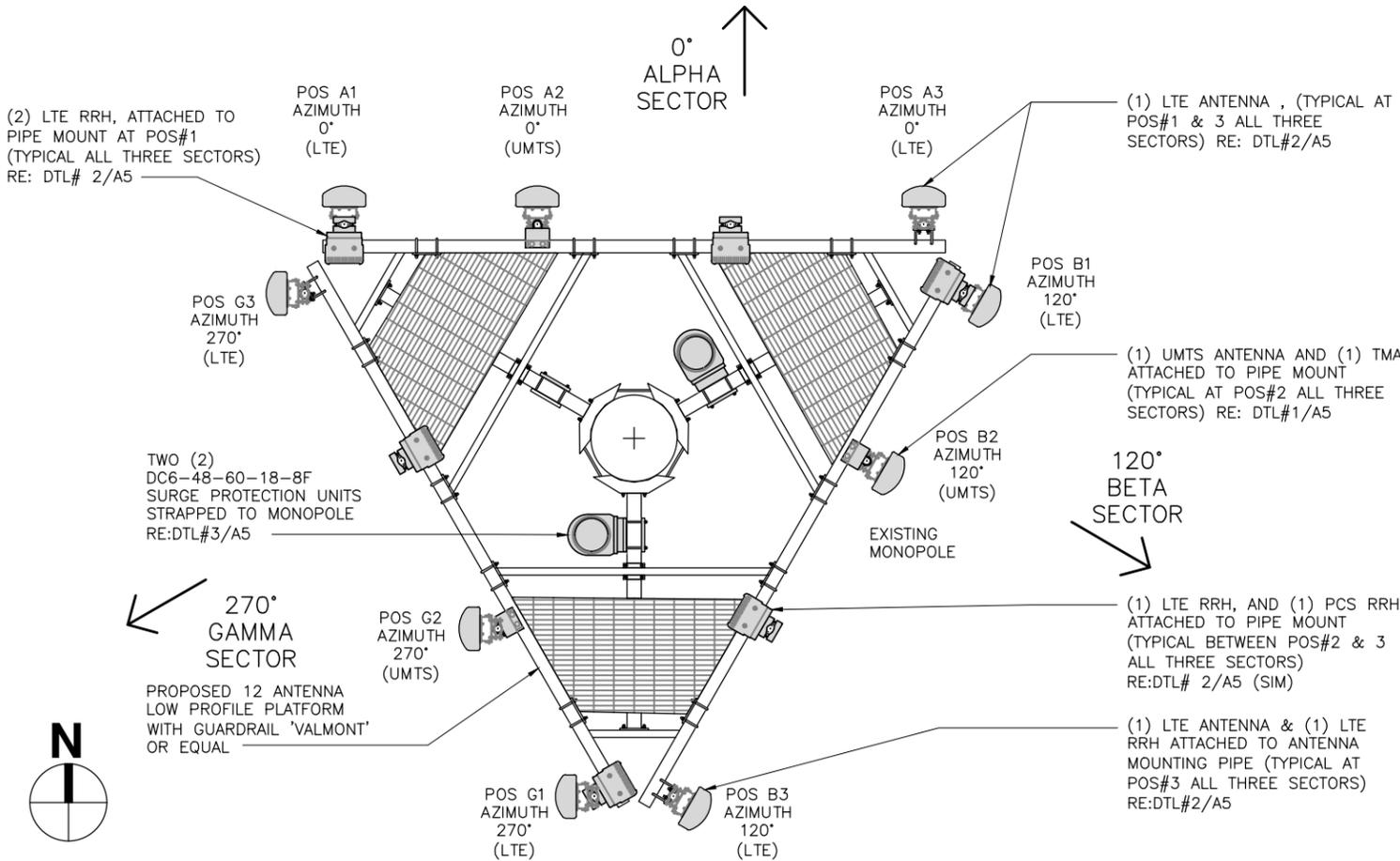
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DESMIAU5313
ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
TOWER ELEVATION & ANTENNA PLAN

SHEET NUMBER

A3



ANTENNA PLAN
SCALE: 1/4"=1'-0"

120'-0" TOP OF TOWER

115'-0" CL OF AT&T ANTENNAS PANELS

1

2



AT&T Mobility
4300 Market Pointe Dr.
Suite 350
Bloomington, MN 55435
www.att.com

Dear Sir/Madam,

The following letter is to explain the purpose of the proposed site and to shed light on why the current candidate is selected as the best candidate to provide wireless services at Rapid City.

Site Location: DESMIAU5313 _ 1900 F AVENUE NW
County: LINN
City: CEDAR RAPIDS
Structure: Church

As shown in Appendix A, the existing network coverage clearly demonstrates the need for a site to close the coverage hole along "County Road" east of Cedar Rapids.

The above indicated location is the best location to close the existing coverage hole in the area as explained in the attached Appendix B.

This location will best to serve customers and provide strong outdoor and indoor coverage along County Road and to the surrounding area.

The Grain Silo, was proposed as a possible candidate, however the propagation plots provided to the city, clearly demonstrate that the Grain Silo is already located in an area where existing coverage is strong, as shown in Appendix C.

Yours truly,

(Imad Assaad)
RF DESIGN Engineer
AT&T Mobility, Inc.
Bloomington, MN 55435

Appendix A: Existing Network Coverage

Grain Silo



-82 dbm "In-Building" Service



-92 dbm "In-Vehicle" Service



-102 dbm "On-Street" Service

Appendix B: Coverage from Selected location

Grain Silo





Appendix C: Coverage from Grain Silo

Grain Silo



DESMIAU5313

Propagation Plots

Comments

- Cell towers location are based on complex RF signal propagation Calculations which considers factors like terrain, population density, Cell Phone usage patterns, demographics etc.
- With growing customer demands for wide variety high speed data and voice services the existing cell phone network needs to be beefed up to meet the consumer needs.
- Solution to growing customer base and consumer demands can be met by updating resource to our existing towers as well add new towers and cell sites to reach our consumers.
- As a wireless service provider our goal is to provide most advanced state of the art Wireless network with both excellent coverage and reliability on-Street and In-Building.
- As justified by the following propagation maps the proposed wireless facility is required to meet customer demands for reliable and technologically advanced wireless services.

Legend

Below is AT&T Classification of signal strength for various levels of coverage requirement, this classification in relation with AT&T classification of Good Indoor/Outdoor and Poor Indoor/Outdoor coverage



-82 dbm "In-Building" Service

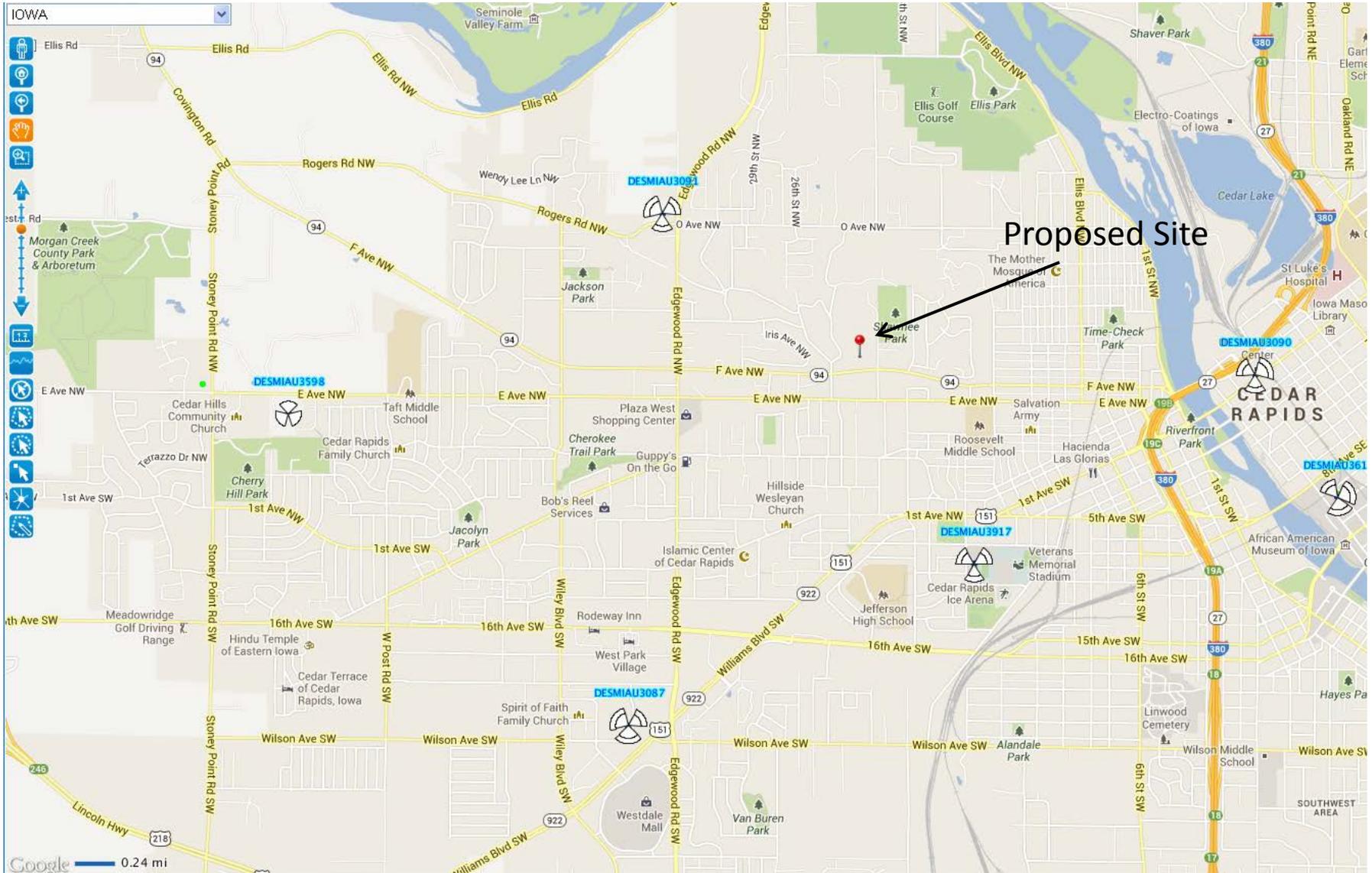


-92 dbm "In-Vehicle" Service

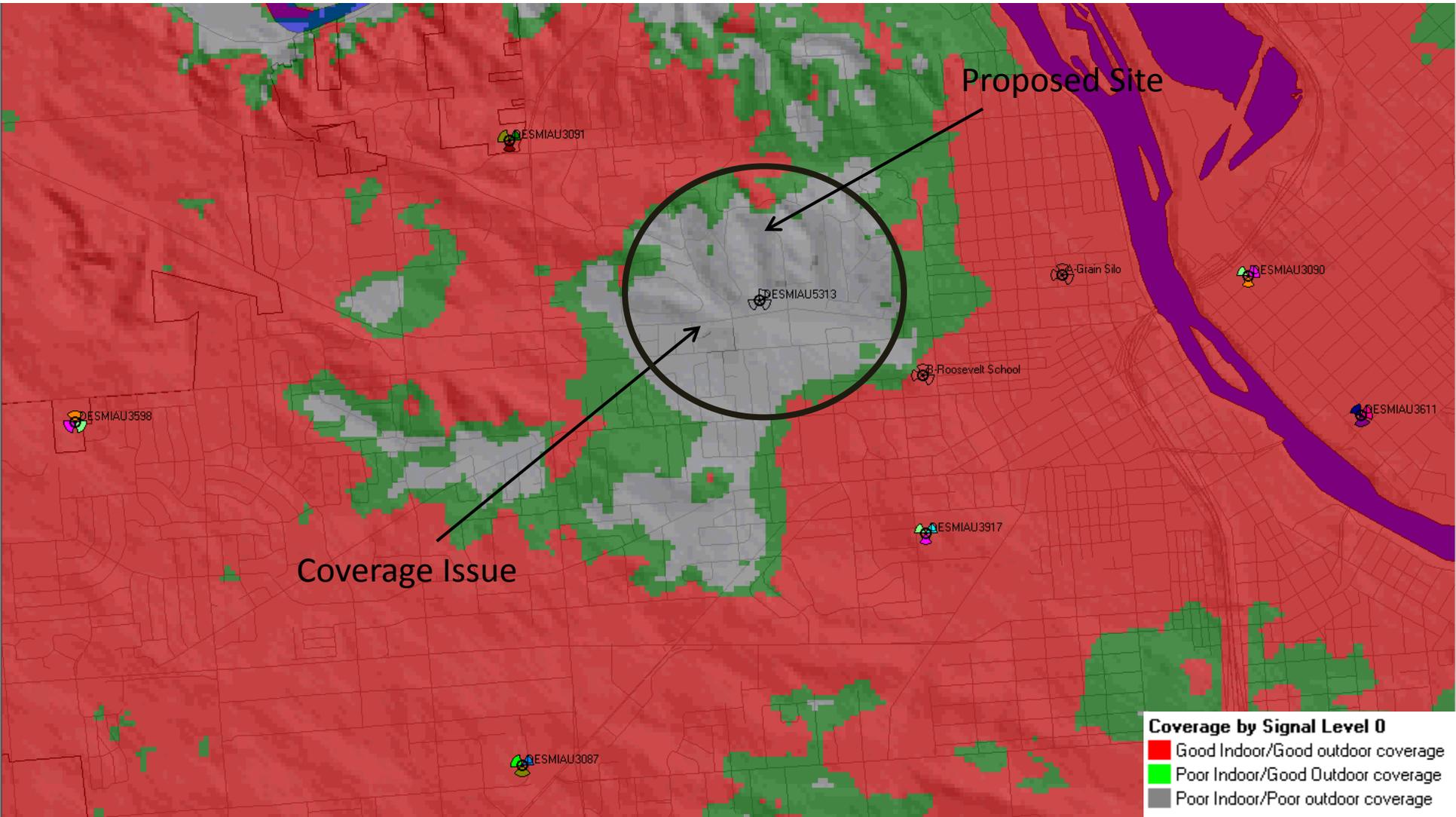


-102 dbm "On-Street" Service

Area Map _ Site Location Relative to Existing Network



Existing AT&T coverage without proposed site



Coverage with Proposed/Selected Location “Immanuel Baptist Church”



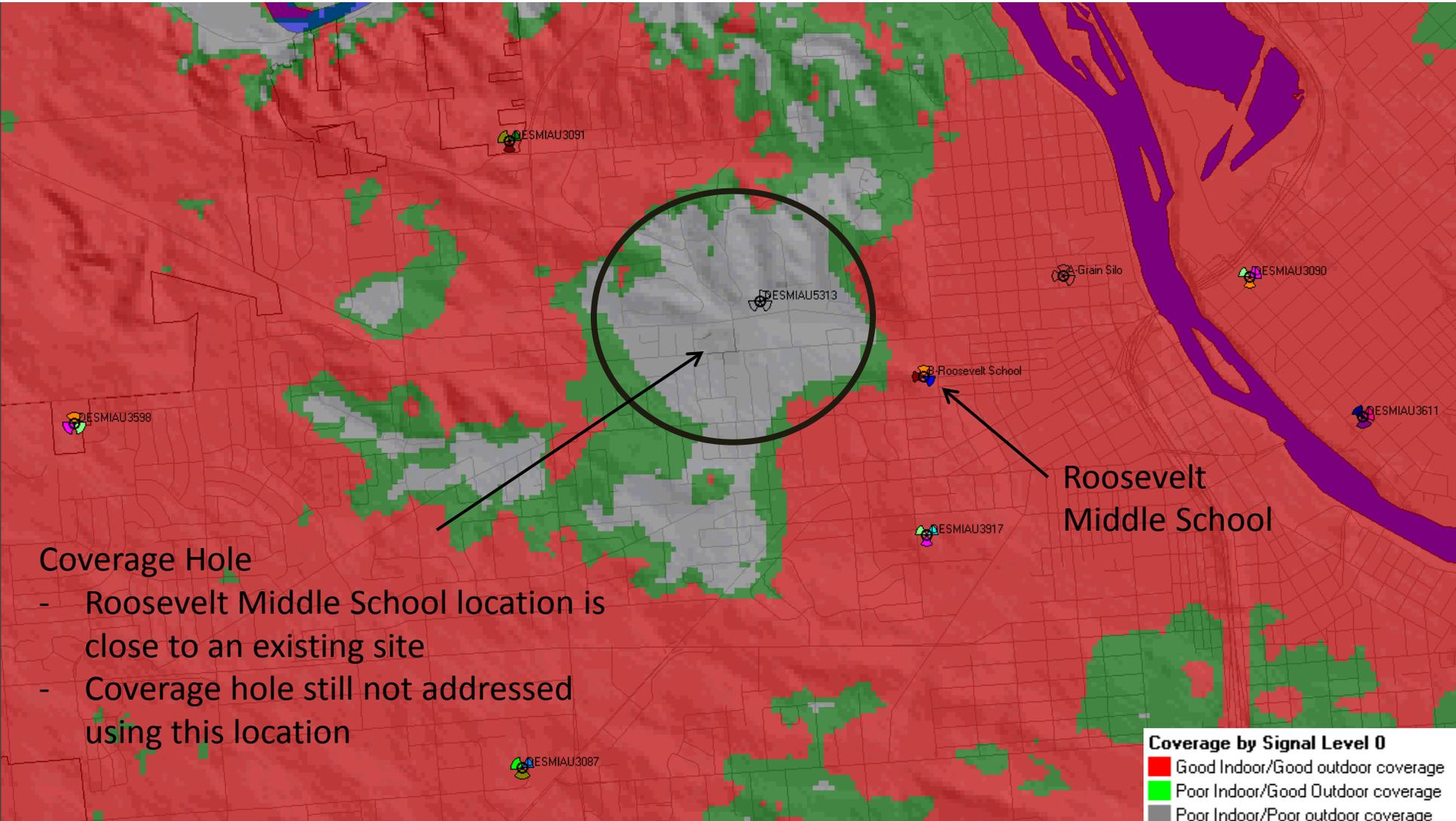
Coverage with Proposed Location @ Grain Silo



Coverage Hole

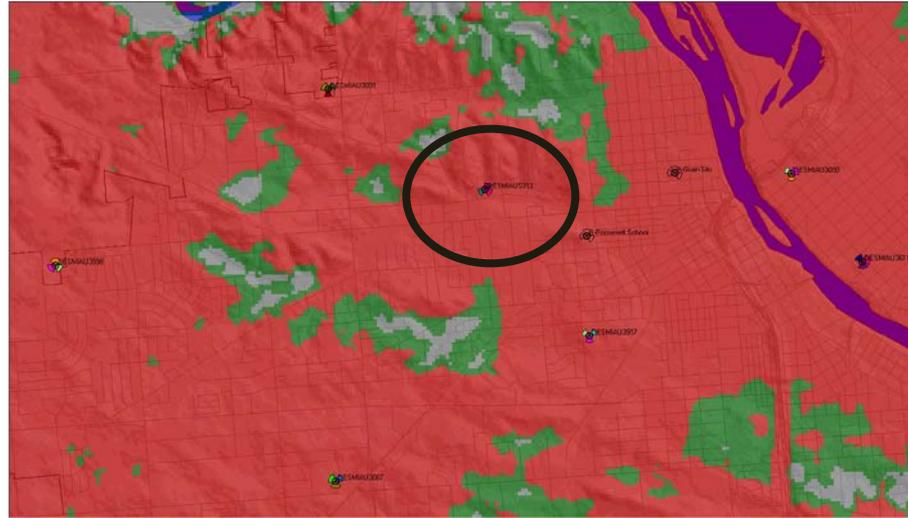
- Grain Silo location is close to an existing site
- Coverage hole still not addressed using this location

Coverage with Proposed Location @ Roosevelt Middle School



Side By Side Comparison for Different Locations

Immanuel Baptist Church



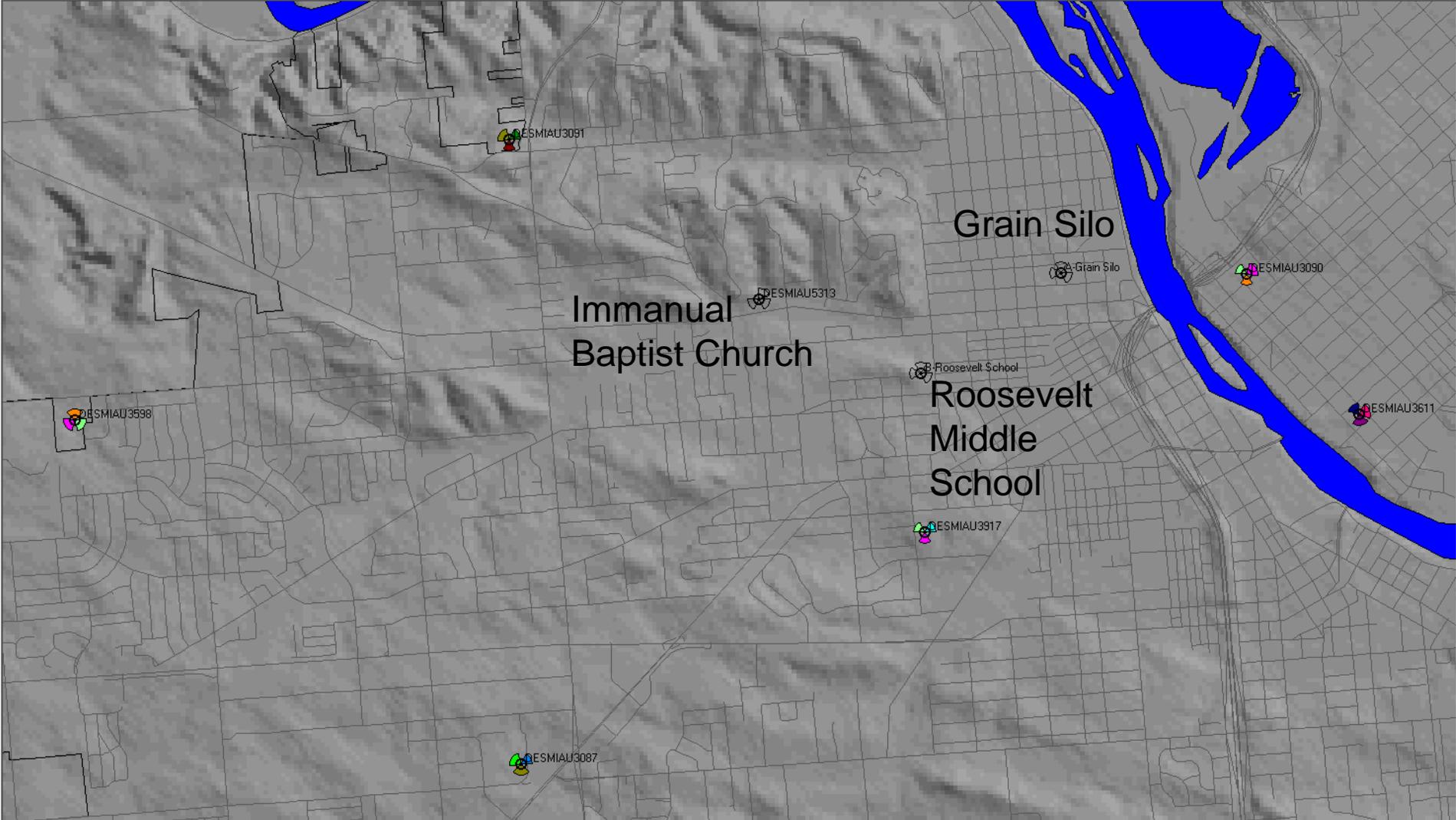
Grain Silo



Roosevelt Middle School



Proposed Location relative to the Existing Sites



Additional comments

- The location of the proposed site is in the best location to address the coverage hole as shown on Slides 6 & 9.
- Plots for different locations clearly shows that the selected location is the only one which will address the site objectives
- The main objective of the site is to close the coverage hole along CR-W36 & provide adequate services to the surrounding residential areas.



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5168

STAFF REPORT TO CITY PLANNING COMMISSION
Conditional Use with a Preliminary Site Development Plan

CPC Date: May 29, 2014
To: City Planning Commission
From: Development Services Department

Applicant: Frugal Heart, L.L.C.
Titleholder: Dusty Road, L.L.C.
Case Number: COND-009773-2014
Location: 59 16th Avenue SW
Request: Conditional Use approval for an Outdoor Service Area in a C-3, Regional Commercial Zone District
Case Manager: Dave Houg, Development Services Department

BACKGROUND INFORMATION:

This is to certify that Development Services staff has examined the petition of Frugal Heart, L.L.C. requesting a Conditional Use approval for an Outdoor Service Area for property located at 59 16th Avenue SW and zoned C-3, Regional Commercial Zone District.

The applicant recently opened the Lion Bridge Brewing Company within the building that housed the former Fritz's Food Market. The proposed Outdoor Service Area will be on a patio adjacent to the building.

The site plan submitted shows the following characteristics:

- Total lot area: 13,939 s.f. (0.32 acres)
- Total building size: 6,960 s.f.
- Total size of additional outdoor service area: seating for approx. 25
- Total parking required: parking is shared within the district

After careful review, the staff has prepared the following findings in accord with Section 32.02.030.D. of the Zoning Ordinance:

FINDINGS:

Section 32.02.030.D.9 of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. That the conditional use applied for is permitted in the district within which the property is located.**

Staff Comments: The conditional use as requested is permitted within the C-3, Regional Commercial District.

- 2. That the proposed use and development will be consistent with the intent and purpose of this Ordinance and with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.**

Staff Comments: This Conditional Use request for an outdoor service area will be consistent with the purpose of this Ordinance and the Future Land Use Policy Plan.

- 3. That the proposed use and development will not have a substantial adverse effect upon adjacent property, and the character of the neighborhood, traffic conditions, parking, utility and service facilities, and other factors affecting the public health, safety, and welfare.**

Staff Comments: This Conditional Use request for an outdoor service area will not be out of character for the neighborhood and should not affect public health, safety or welfare.

- 4. That the proposed development or use will be located, designed, constructed and operated in such a manner that it will be compatible with the immediate neighborhood and will not interfere with the orderly use, development and improvement of surrounding property.**

Staff Comments: The proposed outdoor service area will be secured with fencing as deemed appropriate by the Police Department.

- 5. That adequate measure have been or will be taken to assure adequate access designed to minimize traffic congestion and to assure adequate service by essential public services and facilities including utilities, storm water drainage, and similar facilities.**

Staff Comments: There are no anticipated changes to the traffic patterns or required public services and facilities necessary to serve the site.

- 6. That the proposed building, development, or use will comply with any additional standards imposed on it by provisions of this Ordinance for the district in which the property is located.**

Staff Comments: The outdoor service area will be required to comply with all provisions of the Zoning Ordinance and the C-3 Zoning District, the staff recommended conditions and all other applicable codes and regulations.

- 7. Whether, and to what extent, all reasonable steps possible have been, or will be, taken to minimize any potential adverse effects on the surrounding property through building design, site design, landscaping, and screening.**

Staff Comments: The outdoor service area will be shielded from the neighborhood by the adjacent structure. The service area must comply with all applicable requirements of the Police Department for fencing.

8. The Site Development Plan conforms to all applicable requirements of this Ordinance.

Staff Comments: The plan does conform to all applicable requirements.

If the Commission determines to recommend approval of the proposed conditional use, adoption of the following conditions as recommended by staff should be considered:

RECOMMENDED CONDITIONS:

1. The outdoor service area must have fencing. The fencing requirements, for an area with limited staffing, must be of sufficient height to deter the passing of alcoholic beverages over the top of the fence. The fence must also be designed in such a manner as to prohibit the passing of alcoholic beverages through it. The fencing requirements, for an outdoor service area that is staffed full time during normal business hours, can vary some from the above requirements. For those outdoor service areas, a specific fence design must be submitted and it will be evaluated on a case-by-case basis.
2. The current project is not complete, and fencing and a gate must still be installed. The gate must meet all Fire Department regulations related to entry/egress points. The gate shall be used only as an emergency entry/egress route unless the outdoor service area is staffed continually during normal business hours.
3. The Police Department shall re-inspect the outdoor service area prior to issuance of a certificate of occupancy.
4. No amplified outdoor music such as bands, karaoke, and public address systems, etc. shall be allowed in the outdoor service area.
5. Review of this proposal is required by the Czech Bohemia Overlay District Design Review Technical Advisory Committee.
6. This site shall be developed in compliance with the provisions of the Flood Plain Management Ordinance.

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



AT&T MOBILITY

PROJECT: NSB - RAW LAND
NUMBER: DESMIAU5313
FA NUMBER: 12567168
ROOSEVELT MIDDLE SCHOOL
CEDAR RAPIDS, IA 52405
RFDS DATED: 03/20/14
△ 1 RAD CENTER: 115'-0"



4300 MARKET POINTE DR.
BLOOMINGTON, MN 55435

A&E

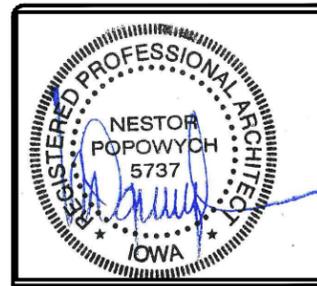


1501 E. WOODFIELD ROAD, SUITE #300E
SCHAUMBURG, IL 60173
www.sacw.com
847-944-1600

DRAWN BY: AJA

CHECKED BY: AA

REV	DATE	DESCRIPTION
1	05/01/14	ISSUED FOR CONSTRUCTION
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DESMIAU5313
ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T1

PROJECT INFORMATION

SITE ADDRESS: 1900 F AVENUE NW
CEDAR RAPIDS, IA 52405

COUNTY: LINN

SITE NAME: ROOSEVELT MIDDLE SCHOOL
SITE NUMBER: DESMIAU5313
FA NUMBER: 12567168
USID NUMBER: 150594

LATITUDE: N41° 58' 53.299"
LONGITUDE: W91° 42' 02.685"
GROUND ELEVATION: 778.8'

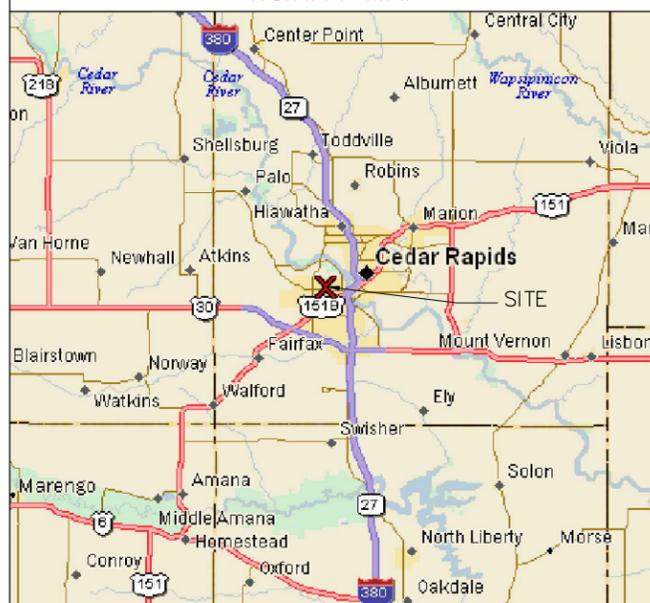
TOWER OWNER: AT&T MOBILITY LLC
GROUND OWNER: 5601 LEGACY DRIVE, MS-A3
PLANO, TX 75024

LANDLORD CONTACT: IMMANUEL BAPTIST CHURCH
DAN WERSEMA
DAN.WERSEMA@IMMANUELCHR.ORG
319-365-9115

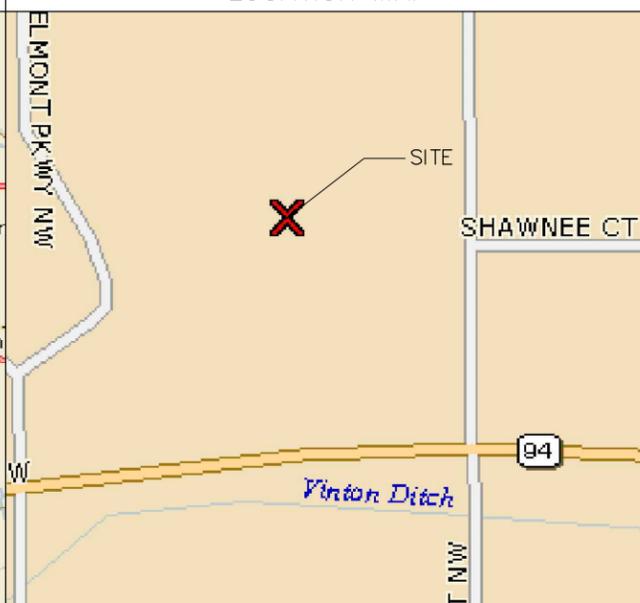
APPLICANT: AT&T WIRELESS
4300 MARKET POINTE DR - STE 350
BLOOMINGTON, MN 55435

PROJECT MANAGER: DOUGLAS BROWN
952-656-9224

VICINITY MAP



LOCATION MAP



PREPARED BY

SAC WIRELESS: ARCHITECTURE
 1501 E WOODFIELD ROAD SUITE 300
 SCHAUMBURG, ILLINOIS 60173
 TEL: (847) 944-1600
 WWW.SACW.COM

PROJECT INFORMATION

JURISDICTION: LINN

CODES: IBC 2010
ZONING: R-2
CONSTRUCTION TYPE: V-B
- OCCUPANCY: U
LAND USE ZONE: R-3

HANDICAP REQUIREMENTS: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ADA ACCESS REQUIREMENTS DO NOT APPLY.

DRAWING INDEX

T1	TITLE SHEET
SP1-SP4	NOTES & SPECIFICATIONS
A1	SITE PLAN & LEGEND
A2	COMPOUND PLAN
A3	TOWER ELEVATION & ANTENNA PLAN
A4	ANTENNA SCHEDULE AND COLOR CODING
A5	ANTENNA, RRH, SURGE SUPPRESSOR MOUNTING DETAILS
A6	SHELTER FOUNDATION DETAILS
A7	FENCE DETAILS & MATERIAL NOTES
A8	SITE DETAILS
A9	SHELTER PLAN AND ELEVATIONS
E1	COMPOUND ELECTRIC PLAN
E2	EQUIPMENT ELECTRIC PLAN AND DETAILS
E3	ELECTRICAL SLD AND PANEL SCHEDULE
E4	SHELTER GROUNDING PLAN & DETAILS
E5	EQUIPMENT GROUNDING PLAN & DETAILS
E6	ANTENNA GROUNDING - SLD
E7	GROUNDING DETAILS
RF1	RFDS PLUMBING DIAGRAM
SIGN	SIGNAGE REQUIREMENTS

PROJECT CONSULTANTS

ARCHITECT OF RECORD: SAC WIRELESS: NESTOR POPOWYCH
1501 E WOODFIELD ROAD SUITE 300
SCHAUMBURG, ILLINOIS 60173
TEL: (847) 944-1600
WWW.SACW.COM

STRUCTURAL ENGINEER: N/A

LAND SURVEYOR: ASSOCIATED ENGINEERING
2705 NORTH MAIN STREET
OMAHA, NE 68022
(402) 289-5040

SITE ACQUISITION & ZONING: SAC WIRELESS
1501 E WOODFIELD ROAD SUITE 300
SCHAUMBURG, ILLINOIS 60173
CONTACT: BEN RUSSELL
EMAIL: BEN.RUSSELL@SACW.COM

CONSTRUCTION MANAGER: SAC WIRELESS
1501 E WOODFIELD ROAD SUITE 300
SCHAUMBURG, ILLINOIS 60173
CONTACT: JOSEPH FISHER
EMAIL: JOSEPH.FISHER@SACW.COM

PROJECT DESCRIPTION

THESE DOCUMENTS ARE PART OF AN APPLICATION TO DEVELOP AN UNMANNED COMMUNICATIONS FACILITY CONSISTING OF A PREFABRICATED EQUIPMENT BUILDING, CONNECTING CABLES, DIRECTIONAL ANTENNAS, & GPS. THE SIZE, HEIGHT, & DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS. THE ANTENNAS WILL PROVIDE CLEAR AND RELIABLE COMMUNICATIONS WITHIN THE SURROUNDING COUNTY. THESE INTERCONNECTS WILL ALLOW FOR AN INDEPENDENT COMMUNICATION NETWORK THAT CAN CONTINUE TO FUNCTION IF THE TELEPHONE (WIRE) SERVICE IS DISCONNECTED DURING AN EMERGENCY OR NATURAL DISASTER. THESE FACILITIES WILL ENHANCE THE GENERAL HEALTH, SAFETY, AND WELFARE OF THE COMMUNITY AND SURROUNDING AREAS BY PROVIDING RELIABLE COMMUNICATIONS AROUND THIS LOCATION.

EMERGENCY CONTACT INFORMATION

LOCAL POWER: ALLIANT ENERGY
FIRE DEPARTMENT: CEDAR RAPIDS FIRE DEPARTMENT
319-286-5200

TELCO PROVIDER: CENTURYLINK
POLICE DEPARTMENT: CEDAR RAPIDS POLICE DEPARTMENT
319-286-5375

DIRECTIONS FROM AT&T OFFICE:

GO SOUTH ON JOHNSON AVENUE S, TURN EAST NORTH EAST ONTO W 78TH STREET, TURN SOUTH ONTO CR 17, GO EAST ONTO I-494 RAMP, TAKE EXIT 5B, KEEP SOUTH ONTO I-35W S RAMP, GO SOUTH ONTO I-35 S, TAKE EXIT 142A, KEEP EAST ONTO US 20 RAMP, KEEP EAST NORTH EAST ONTO I-380 S RAMP, KEEP SOUTH CONTINUE S ON I-350. EXIT 20A F AVE (SR-94) CONTINUE WEST. SITE WILL BE ON NW CORNER OF F AVE & 19TH ST.

OTHER REQUIREMENTS

THIS FACILITY HAS NO PLUMBING OR PARKING. CALL 811 AS THE NATIONAL, TOLL FREE NUMBER FOR ALL LOCAL 'CALL BEFORE YOU DIG' PHONE CENTERS THROUGHOUT THE UNITED STATES



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN NEBRASKA, CALL DIGGER'S HOTLINE OF IOWA
TOLL FREE: 1-800-331-5666
 STATUTE REQUIRES MIN OF 2 BUSINESS DAYS NOTICE BEFORE YOU EXCAVATE

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:
- CONTRACTOR / CM – SAC WIRELESS
SUB-CONTRACTOR – PER TRADE
OWNER – AT&T WIRELESS
2. SITE WORK (IF APPLICABLE) SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
3. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO DEPICT THE DESIGN INTENT OF THE INSTALLATION.
4. ANY MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
5. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
6. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL DOCUMENT & PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE CONTRACTOR.
7. CONTRACTOR / SUBCONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION.
8. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ANY UTILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION AND COORDINATE ANY REPAIRS WITH UTILITY COMPANY.
9. THE EXISTING CELL SITE IS IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR.
10. SINCE THE CELL SITE IS ACTIVE, ALL SAFETY PRECAUTIONS, IN ACCORDANCE WITH OSHA STANDARDS, MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORN TO ALERT OF ANY DANGEROUS EXPOSURE LEVELS.
11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY.

SITE PREPARATION:

SUB-CONTRACTOR'S SCOPE OF WORK

- PROTECTION OF EXISTING TREES, VEGETATION AND LANDSCAPING MATERIALS WHICH MIGHT BE DAMAGED BY CONSTRUCTION ACTIVITIES.
- CLEARING AND GRUBBING OF STUMPS, VEGETATION, DEBRIS, RUBBISH, DESIGNATED TREES, AND SITE IMPROVEMENTS.
- TOPSOIL STRIPPING AND STOCKPILING.
- TEMPORARY PROTECTION OF ADJACENT PROPERTY, STRUCTURES, BENCHMARKS, AND MONUMENTS.

SUB-CONTRACTORS QUALITY ASSURANCE

- SUB-CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR CONTAINMENT OF SEDIMENT AND CONTROL OF EROSION ON SITE, ANY DAMAGE TO ADJACENT OR DOWNSTREAM PROPERTIES WILL BE CORRECTED BY THE SUB-CONTRACTOR AT NO EXPENSE TO THE OWNER.
- SUB-CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AT ALL TIMES. DO NOT ALLOW WATER TO STAND OR POND. ANY DAMAGE TO STRUCTURES OR WORK ON SITE CAUSED BY INADEQUATE MAINTENANCE OF DRAINAGE WILL BE THE RESPONSIBILITY OF THE SUB-CONTRACTOR AND COST ASSOCIATED WITH REPAIRS FOR SUCH DAMAGE WILL BE AT THE SUB-CONTRACTORS EXPENSE.

SITE WORK:

EARTHWORK AND DRAINAGE

PART 1 – GENERAL

- WORK INCLUDED: SEE SITE PLAN.
- DESCRIPTIONS

ACCESS DRIVE W/ TURNAROUND AREA, LEASE AREA, AND IF APPLICABLE UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.

3. QUALITY ASSURANCE

- APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS NEEDED).
- APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (IF REQUIRED).
- PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.
- SEQUENCING

- CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION.
- COMPLETELY GRUB THE ACCESS DRIVE W/ TURNAROUND, UNDERGROUND UTILITY EASEMENTS, (IF APPLICABLE) AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
- CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
- BRING THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
- APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS.
- GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AREA AND ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION, WATER TO ENSURE GROWTH.
- REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY PROJECT MANAGER.
- AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO STONE SURFACES.

5. SUBMITTALS

A. BEFORE CONSTRUCTION IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF A LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD (REFER TO PLANS FOR LANDSCAPING REQUIREMENTS).

B. AFTER CONSTRUCTION

- MANUFACTURER'S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZED.
- MANUFACTURER'S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER
- LANDSCAPING WARRANTY STATEMENT.

6. WARRANTY

- IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE AT SITE AND SURROUNDINGS.
- SOIL STERILIZATION APPLICATION TO GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS COVER PRIOR TO FINAL INSPECTION.
- LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL INSPECTION.

PART 2 – PRODUCTS

1. MATERIALS

- A. SOIL STERILIZER SHALL BE EPA-REGISTERED, PRE-EMERGENCE LIQUID:
- TOTAL KILL PRODUCT 910 EPA 10292-7
PHASAR CORPORATION P.O. BOX 5123 DEARBORN, MI 48128 (313) 563-8000
AMBUSH HERBICIDE EPA REGISTERED
FRAMAR INDUSTRIAL PRODUCTS 1435 MORRIS AVE. UNION, NJ 07083 (800) 526-4924

B. ROAD AND SITE MATERIALS SHALL CONFORM TO TDOT SPECIFICATIONS FILL MATERIAL (UNLESS OTHERWISE NOTED) – ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS.

C. SOIL STABILIZER FABRIC SHALL BE MIRAFI – 500X.

PART 3 – EXECUTION

1. INSPECTIONS

LOCAL BUILDING INSPECTORS SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, UNLESS OTHERWISE SPECIFIED BY JURISDICTION.

2. PREPARATION

- CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE W/ TURNAROUND AND UNDER GROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION.
- PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
- UNLESS OTHERWISE INSTRUCTED BY AT&T, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
- PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
- WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.

3. INSTALLATION

- GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE W/ TURNAROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS, RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
- CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
- BRING THE ACCESS DRIVE W/ TURNAROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
- AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
- THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE INDICATED.
- WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
- PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
- THE TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE (UNLESS OTHERWISE NOTED) AND SHALL COVER THE AREA AS INDICATED.
- APPLY RIPRAP TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS, AND ALL OTHER SLOPES GREATER THAN 2:1.
- APPLY RIPRAP TO THE SIDES OF DITCHES OR DRAINAGE SWALES.
- RIPRAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CULVERT OPENINGS.
- APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIPRAPPED.
- UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.
- IN DITCHES WITH SLOPES GREATER THAN 10%, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT CULVERT ENTRANCES. POSITION THE HEADWALL AT AN ANGLE NO GREATER THAT 60 DEGREES OFF THE DITCH LINE. RIPRAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS THE DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.
- APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.
- SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.
- ENSURE GROWTH OF SEEDED AND LANDSCAPED AREAS, BY WATERING, UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.

4. FIELD QUALITY CONTROL

COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.

5. PROTECTION

- PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.
- ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTED WIRE, AND SECURED TO 2" X 2" X 4'-0" WOODEN STAKES EXTENDING TWO-FEET INTO THE GROUND ON FOUR SIDES OF THE TREE.
- PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. PLACE STRAW BALES AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS. WHERE THE SITE OR ROAD AREAS HAVE BEEN ELEVATED IMMEDIATELY ADJACENT TO THE RAIL LINE, STAKE EROSION CONTROL FABRIC FULL LENGTH IN THE SWALE TO PREVENT CONTAMINATION OF THE RAIL BALLAST. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

TRENCHING:

MATERIALS SUB-CONTRACTOR SHALL:

- FILL MATERIAL SHALL BE OBTAINED TO THE MAXIMUM EXTENT POSSIBLE FROM EXCAVATIONS ON SITE. THE STRUCTURAL FILL SHOULD BE SAND AND SHALL BE APPROVED BY THE CONSTRUCTION MANAGER AND SHALL CONFORM TO LOCAL GOVERNING JURISDICTION AND UTILITY COMPANY REQUIREMENTS. THE FILL MATERIAL SHALL CONTAIN NO ORGANIC MATERIAL, ROCKS, OR OBJECTIONABLE MATERIALS AND/OR MATERIALS DESIGNATED AS HAZARDOUS OR INDUSTRIAL BY THE EPA. THE FILL MATERIAL SHALL CONTAIN FINES SUFFICIENT TO FILL ALL VOIDS IN THE MATERIAL. BACKFILL OR BORROW SOIL SHALL BE PLACED IN 6" LOOSE LIFTS.

PIPE DETECTION AND IDENTIFICATION SUB-CONTRACTOR SHALL:

- UTILIZE WARNING TAPE. ALL UTILITY SERVICE TRENCHES SHALL BE MARKED WITH WARNING TAPE.



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SCHAUMBURG, IL 60173
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847-944-1600

DRAWN BY: AJA

CHECKED BY: AA

REV	DATE	DESCRIPTION
1	05/01/14	ISSUED FOR CONSTRUCTION
0	03/25/14	ISSUED FOR CONSTRUCTION
B	03/17/14	90% FOR CONSTRUCTION



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DESMIAU5313
ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
NOTES & SPECIFICATIONS

SHEET NUMBER
SP1

TRENCHING: (CONTINUED)

TRENCH EXCAVATION SUB-CONTRACTOR SHALL:

1. DIG TRENCH TO LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE CONSTRUCTION MANAGER.
2. TRENCH LENGTH SHALL BE SUFFICIENT TO ALLOW FOR SATISFACTORY CONSTRUCTION AND INSPECTION OF THE PROJECT WITHOUT ENDANGERING OTHER CONSTRUCTION WORK OR ADJACENT FACILITIES.
3. DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATION MATERIAL PROPERLY AS DIRECTED BY THE CONSTRUCTION MANAGER.
4. USE HAND TRENCHING METHODS FOR EXCAVATION THAT CANNOT BE ACCOMPLISHED WITHOUT ENDANGERING EXISTING OR NEW STRUCTURES AND OTHER FACILITIES.

TRENCH PROTECTION SUB-CONTRACTOR SHALL:

1. PROVIDE MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PROTECT TRENCHES AT ALL TIMES.
2. SHEETING AND BRACING TO MEET OR EXCEED OSHA REQUIREMENTS.

BACKFILLING SUB-CONTRACTOR SHALL:

1. NOTIFY THE CONSTRUCTION MANAGER AT LEAST 24 HOURS IN ADVANCE OF BACKFILLING.
2. BACKFILL TRENCH WITH LIFTS UP TO 6" LOOSE MEASURE.
3. PROTECT CONDUIT FROM LATERAL MOVEMENT AND DAMAGE FROM IMPACT OR UNBALANCED LOADING TO AVOID DISPLACEMENT OF CONDUIT AND/OR STRUCTURES. DO NOT FREE FALL BACKFILL INTO TRENCH UNTIL AT LEAST 6" OF COVER IS OVER CONDUIT.

COMPACTION SUB-CONTRACTOR SHALL:

1. COMPACT BACKFILL TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 WITH PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.
2. IF REQUIRED COMPACTION DENSITY HAS NOT BEEN OBTAINED REMOVE THE BACKFILL FROM THE TRENCH OR STRUCTURE, REPLACE WITH APPROVED BACKFILL AND RE-COMPACT AS SPECIFIED.
3. ANY SUBSEQUENT SETTLEMENT OF TRENCH OR STRUCTURE BACKFILL DURING THE MAINTENANCE PERIOD SHALL BE CONSIDERED THE RESULT OF IMPROPER COMPACTION AND SHALL PROMPTLY CORRECTED.

FENCING AND GATE(S)

PART 1 – GENERAL

1. WORK INCLUDED SEE PLAN FOR SITE AND LOCATION OF FENCE AND GATE(S).
2. QUALITY ASSURANCE ALL STEEL MATERIALS UTILIZED IN CONJUNCTION WITH THIS SPECIFICATION WILL BE GALVANIZED OR STAINLESS STEEL. WEIGHT OF ZINC COATING ON THE FABRIC SHALL NOT BE LESS THAN 12 OUNCES PER SQUARE FOOT OF MATERIAL COVERED. POSTS SHALL BE HOT-DIPPED IN GRADE 'E' ZINC, 18 OUNCES PER SQUARE FOOT.
3. SEQUENCING IF THE SITE AREA HAS BEEN BROUGHT UP TO SURFACE COURSE ELEVATION (PRIOR TO THE FENCE CONSTRUCTION), FENCE POST EXCAVATION SPOILS MUST BE CONTROLLED TO PRECLUDE CONTAMINATION OF SAID SURFACE COURSE.
4. SUBMITTALS
 - A. MANUFACTURER'S DESCRIPTIVE LITERATURE.
 - B. CERTIFICATE OR STATEMENT OF COMPLIANCE WITH THE SPECIFICATIONS.

PART 2 – PRODUCTS

1. FENCE MATERIAL
 - A. ALL FABRIC WIRE, RAILS, HARDWARE, AND OTHER STEEL MATERIALS SHALL BE HOT-DIPPED GALVANIZED.
 - B. FABRIC SHALL BE SIX-FOOT HIGH TWO-INCH CHAIN LINK MESH OF NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO THE SPECIFICATIONS OF ASTM A-392 CLASS 1.
 - C. BARBED WIRE SHALL BE DOUBLE-STRAND, 12-1/2 GAUGE TWISTED WIRE, WITH 14-GAUGE, 4-POINT ROUND BARBS SPACED ON FIVE-INCH CENTERS.
 - D. ALL POSTS SHALL BE SCHEDULE - 40 MECHANICAL SERVICE PIPE AND SHALL BE TYPE 1 ASTM A-128 AND OF THE FOLLOWING DIAMETER POST 2" SCHEDULE 40 (2 3/8" O.D.) CORNER 3" SCHEDULE 40 (3 1/2" O.D.) GATE 3" SCHEDULE 40 (3 1/2" O.D.)
 - E. GATE POSTS SHALL BE EXTENDED 12 INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.
 - F. ALL TOP AND BRACE RAILS SHALL BE 1 1/2" DIAMETER SCHEDULE - 40 MECHANICAL-SERVICE PIPE.
 - G. GATE FRAMES AND BRACES SHALL BE 1.90 INCH DIAMETER SCHEDULE 40 MECHANICAL-SERVICE PIPE. FRAMES SHALL HAVE WELDED CORNERS.
 - H. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS.
 - I. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTER WITH MODEL 6409, 188-DEGREE ATTACHMENT.
 - J. THE GUIDE (LATCH ASSEMBLY) SHALL BE HEAVY INDUSTRIAL DOUBLE GATE LATCH. SEE DETAIL.
 - K. LATCHES AND STOPS SHALL BE PROVIDED FOR ALL GATES.
 - L. PLUNGER ROD COMPLETE WITH RECEPTOR TO BE PROVIDED AT THE INACTIVE LEAF OF ALL DOUBLE GATE INSTALLATIONS.
 - M. ALL STOPS SHALL HAVE KEEPERS CAPABLE OF HOLDING THE GATE LEAF IN THE OPEN POSITION

FENCING AND GATE(S) (CONTINUED):

- N. A NO. 7 GAUGE ZINC COATED TENSION WIRE SHALL BE USED AT THE BOTTOM OF THE FABRIC, TERMINATED WITH BAND CLIPS AT CORNER AND GATE POSTS. ATOP EACH LINE/CORNER POST.
- O. A SIX-INCH BY 1/2-INCH DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.
- P. STRETCHER BARS SHALL BE 3/16-INCH BY 3/4-INCH OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
- Q. ALL CORNER GATE AND PANELS SHALL HAVE A 3/8-INCH TRUSS ROD WITH TURNBUCKLES.
- R. ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM. GATE POSTS SHALL HAVE A DOME CAP.
- S. OTHER HARDWARE INCLUDES BUT MAY NOT BE LIMITED TO TIE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
- T. BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS.
- U. BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET BOLT AND LOCK WIRE IN THE ARM.
- V. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.
- W. WHERE THE USE OF CONCERTINA HAS BEEN SPECIFIED, 24-INCH DIAMETERS COIL BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL G8P TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL BY USE OF SIX(6) WIRE BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.

PART 3 – EXECUTION

1. INSPECTION

TO CONFIRM PROPER DEPTH AND DIAMETER OF POST HOLE EXCAVATIONS. ALL POST HOLES WILL BE EXCAVATED AS PER CONSTRUCTION DOCUMENTS.

2. INSTALLATION

- A. FOUNDATIONS SHALL HAVE A MINIMUM SIX (6) INCH CONCRETE COVER UNDER POST.
- B. ALL FENCE POSTS SHALL BE VERTICALLY PLUMB ; ONE QUARTER (1/4) INCH AT CORNER POSTS, GATE POSTS, AND SIDES OF GATE FRAME, FABRIC SHALL BE ATTACHED WITH STRETCHER AND TENSION BAND-CLIPS AT FIFTEEN(15) INCH INTERVALS.
- D. AT LINE POSTS, FABRIC SHALL BE ATTACHED WITH BAND-CLIPS AT FIFTEEN (15) INCH INTERVALS.
- E. FABRIC SHALL BE ATTACHED TO BRACE RAILS, TENSION WIRE AND TRUSS RODS WITH TIE-CLIPS AT TWO (2) FOOT INTERVALS.
- F. A MAXIMUM GAP OF ONE INCH WILL BE PERMITTED BETWEEN TIE CHAIN LINE FABRIC AND THE FINAL GRADE.
- G. GATE SHALL BE INSTALLED SO LOCKS ARE ACCESSIBLE FROM BOTH SIDES.
- H. GATE HINGE BOLTS SHALL HAVE THEIR THREADS PEENED OR WELDED TO PREVENT UNAUTHORIZED REMOVAL.
- I. CONCRETE TO BE A MINIMUM OF 3,000 PSI.

3. PROTECTION

UPON COMPLETION OF ERECTION, INSPECT FENCE MATERIAL AND PAINT FIELD CUTS OR GALVANIZING BREAKS WITH ZINC-BASED PAINT, COLOR TO MATCH THE GALVANIZED METAL.

APPLICABLE STANDARDS
ASTM-A120

SPECIFICATION FOR PIPE, STEEL BLACK AND HOT-DIPPED ZINC COATED (GALVANIZED) WELDED AND SEAMLESS, FOR ORDINARY USES.

ASTM-A123

ZINC (HOT-DIP GALVANIZED) COATING ON IRON AND STEEL PRODUCTS.

ASTM-A153

STANDARD SPECIFICATION FOR ZINC COATING (HOT-DIP) ON IRON AND STEEL HARDWARE.

ASTM-A392

FABRIC ASTM-A491

FABRIC ASTM-A525

SPECIFICATION FOR ZINC-COATED STEEL CHAIN LINK FENCE SPECIFICATION FOR ALUMINUM-COATED STEEL CHAIN LINK FENCE STANDARD SPECIFICATION FOR STEEL SHEET ZINC COATED (GALVANIZED) BY THE HOT-DIPPED PROCESS.

ASTM-A570

SPECIFICATION FOR HOT-ROLLED CARBON STEEL SHEET AND STRIP. STRUCTURAL QUALITY.

ASTM-A535

SPECIFICATION FOR ALUMINUM COATED STEEL BARBED WIRE.

FEDERAL SPECIFICATION RR-F-191- FENCING, WIRE AND POST METAL (AND GATES, CHAIN LINK FENCE FABRIC, AND ACCESSORIES)

METALS

PART 1 – GENERAL

SECTION INCLUDES:

1. STRUCTURAL STEEL FRAMING MEMBERS, BASE PLATES, PLATES, BARS, THREADED STRUCTURAL FASTENERS, ANTENNA SUPPORT ASSEMBLIES, GRATING, STEEL PLATFORMS AND PEDESTAL SUPPORTS, AND GROUTING UNDER BASE PLATES.

QUALITY ASSURANCE

1. FABRICATE STRUCTURAL STEEL MEMBERS IN ACCORDANCE WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
2. PERFORM DESIGN UNDER DIRECT SUPERVISION OF A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE.

PART 2 – PRODUCTS

1. MATERIALS:

- A. STRUCTURAL STEEL MEMBERS: ASTM A572, GRADE 50
- B. STRUCTURAL TUBING: ASTM A500, GRADE B
- C. PIPE: ASTM A53, TYPE E OR S, GRADE B
- D. BOLTS, NUTS, AND WASHERS: ASTM A325
- E. ANCHOR BOLTS: ASTM A307
- F. WELDING MATERIALS: AWS D1.1, TYPE REQUIRED FOR MATERIALS BEING WELDED

G. GROUT:

NON-SHRINK TYPE, PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZER ADDITIVES, CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 7000 psi AT 28 DAYS.

H. SHOP AND TOUCH-UP PRIMER: SSPC 15, TYPE 1, RED OXIDE

I. TOUCH-UP PRIMER FOR GALV. SURFACES: ZINC RICH TYPE

2. FABRICATION:

CONTINUOUSLY SEAL JOINTED MEMBERS BY CONTINUOUS WELDS. GRIND EXPOSED WELDS SMOOTH.

3. FINISH:

- A. PREPARE STRUCTURAL COMPONENT SURFACES IN ACCORDANCE WITH SSPC SP-1 TO SP-10 PROCEDURES.
- B. STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED.

PART 3 – EXECUTION

EXAMINATION AND PREPARATION:

1. VERIFY THAT THE FIELD CONDITIONS ARE ACCEPTABLE TO PERFORM THE WORK.

ERECTION:

1. ALLOW FOR ERECTION LOADS. PROVIDE TEMPORARY BRACING TO MAINTAIN FRAMING IN ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRIDGING AND BRACING.
2. NO UNAUTHORIZED WELDING SHALL BE PERFORMED ON CROWN CASTLE USA, INC TOWERS. ALL OTHER WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY AWS 01.1 STRUCTURAL STEEL WELDING CODE-STEEL WELD ELECTRODES SHALL BE E70XX.
3. DO NOT FIELD CUT OR ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
4. AFTER ERECTION, TOUCH-UP WELDS, ABRASIONS, AND SURFACES NOT SHOP PRIMED OR GALVANIZED WITH ZINC RICH PAINT (ALL EXISTING AND NEW AREAS).

FIELD QUALITY CONTROL:

1. FIELD INSPECTION OF MEMBERS, CONNECTIONS, WELDS AND BOLT / NUT TORQUE .



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A&E



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DRAWN BY: AJA

CHECKED BY: AA

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DESMIAU5313
ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
NOTES & SPECIFICATIONS

SHEET NUMBER
SP2

CONCRETE:

PART 1 – GENERAL

1. WORK INCLUDES FORMWORK, REINFORCEMENT, ACCESSORIES, CAST-IN-PLACE CONCRETE, FINISHING, AND CURING.
2. INSPECTIONS
 - A. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS REQUIRED FOR THE SCOPE OF WORK BEING PERFORMED.
 - B. ALL REINFORCING STEEL SHALL BE INSPECTED AND APPROVED BY THE AT&TWIRELESS CONSTRUCTION MANAGER PRIOR TO PLACEMENT OF CONCRETE.
 - C. THE AT&TWIRELESS CONSTRUCTION MANAGER SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS.
3. QUALITY ASSURANCE
 - A. CONSTRUCT AND ERECT CONCRETE FORM WORK IN ACCORDANCE WITH ACI 301 AND ACI 318.
 - B. PERFORM CONCRETE REINFORCING WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ASTM A184.
 - C. PERFORM CAST-IN-PLACE CONCRETE WORK IN ACCORDANCE WITH ACI 301, ACI 318, AND ACI 117-90.
4. SUBMITTALS

SUBMIT CONCRETE MIX DESIGN AND REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL BY AT&TWIRELESS CONSTRUCTION MANAGER/ENGINEER. THE SHOP DRAWINGS SHALL BE SUBMITTED IN EH FORM OF TWO (2) CONCRETE MIX DESIGN INFORMATION SHEETS AND TWO (2) BLUELINE DRAWINGS FOR REINFORCING STEEL.

PART 2 – PRODUCTS

1. REINFORCEMENT MATERIALS
 - A. REINFORCEMENT STEEL, ASTM A615, 60KSI YIELD GRADE, REINFORCING STEEL RODS, PLAIN FINISH.
 - B. WELDED STEEL WIRE FABRIC ASTM A185 PLAIN TYPE, IN FLAT SHEETS, PLAIN FINISH.
 - C. CHAIRS, BOLSTERS, BAR SUPPORTS, SPACERS, SIZED AND SHAPED FOR SUPPORTS OF REINFORCING.
 - D. FABRICATE CONCRETE REINFORCING IN ACCORDANCE WITH ACI 315, AND ACI 318, AND ASTM A184.
2. CONCRETE MATERIALS
 - A. CEMENT: ASTM C150, PORTLAND TYPE.
 - B. FINE AND COURSE AGGREGATES: ASTM C33 – MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED ONE (1) INCH SIZE SUITABLE FOR INSTALLATION METHODS UTILIZED FOR ONE-THIRD CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
 - C. WATER: CLEAN AND NOT DETRIMENTAL TO CONCRETE.
 - D. AIR ENTRAINING ADMIXTURE: ASTM C260.
 - E. BONDING AGENT: LATEX EMULSION FOR BONDING NEW TO OLD CONCRETE AS MANUFACTURED BY DAYTON SUPERIOR.
 - F. NON-SHRINK GROUT: PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICISING AGENTS.
3. CONCRETE MIX
 - A. CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE A.C.I. REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
 - B. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94, ALT. 3.
 - C. PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER F4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. PROVIDE CONCRETE AS FOLLOWS:
 1. COMPRESSIVE STRENGTH 4000 PSI AT 28 DAYS.
 2. SLUMP : 3 INCHES.

EXECUTION:

1. INSERTS, EMBEDDED COMPONENTS AND OPENINGS
 - A. THE CONTRACTOR SHALL COORDINATE AND CROSS CHECK ARCHITECTURAL, BUILDING AND ELECTRICAL DRAWINGS FOR OPENINGS, SLEEVES, ANCHORS, HANGERS, AND OTHER ITEMS RELATED TO CONCRETE WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THE PROPER LOCATION BEFORE PLACING CONCRETE.
 - B. PROVIDE FORMED OPENINGS WHERE REQUIRED FOR WORK TO BE EMBEDDED IN AND PASSING THROUGH CONCRETE MEMBERS.
 - C. COORDINATE WORK OF OTHER SECTIONS IN FORMING AND SETTING OPENINGS, SLOTS, RECESSES, CHASES, SLEEVES, BOLTS, ANCHORS, AND OTHER INSERTS.
 - D. INSTALL CONCRETE ACCESSORIES STRAIGHT, LEVEL ND PLUMB.
2. REINFORCEMENT PLACEMENT
 - A. PLACE REINFORCEMENT, SUPPORTED AND SECURED AGAINST DISPLACEMENT.
 - B. ENSURE REINFORCING IS CLEAN, FREE OF LOOSE SCALE, DIRT, OR OTHER FOREIGN COATINGS.
 - C. WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
 - D. MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE 3 INCHES UNLESS NOTED OTHERWISE.
 - E. CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES OR BE LESS THAN 2 INCHES.
3. PLACING CONCRETE
 - A. VIBRATE ALL CONCRETE.
 - B. ALL CONCRETE WORK SHALL ADHERE TO THE LATEST A.C.I. STANDARDS FOR WINTER POURING AND CURING PROCEDURES IF SEASONAL CONDITIONS APPLY.
4. CURING
 - A. AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING.
 - B. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT RELATIVELY CONSISTENT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.
5. PROVIDE HAND RUBBED SMOOTH FINISH TO ALL EXPOSED VERTICAL FORMED CONCRETE SURFACES.
6. FIELD QUALITY CONTROL
 - A. SUBMIT THREE (3) CONCRETE TEST CYLINDERS – TAKEN EVERY 15 CUBIC YARDS OR LESS. SUBMIT CONCRETE TESTS TO THE PROJECT MANAGER IN ACCORDANCE TO ASTM C-31 AND C-39.
 - B. SUBMIT ONE (1) ADDITIONAL TEST CYLINDER – TAKEN DURING COLD WEATHER POURS, AND CURED ON JOB SITE UNDER THE SAME CONDITIONS AS THE CONCRETE IT REPRESENTS.
 - C. SUBMIT ONE (1) SLUMP TEST – TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.
7. DEFECTIVE CONCRETE

MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED SPECIFICATIONS, DETAILS OR ELEVATIONS AS DIRECTED BY THE AT&TWIRELESS CONSTRUCTION MANAGER.

GENERAL ELECTRICAL NOTES:

1. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH AT&TWIRELESS SPECIFICATIONS.
2. CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
3. ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND 'UL' LISTED.
4. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED PER THE NEC, AND ALL APPLICABLE LOCAL CODES.
5. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING OF 42,000 AIC.
6. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS PROVIDED BY AT&TWIRELESS FOR BTS CABINET.
7. PATCH, REPAIR, AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.

GENERAL ELECTRICAL NOTES (CONTINUED):

8. PROVIDE AT&TWIRELESS WITH ONE SET OF COMPLETE ELECTRICAL 'AS-BUILT' DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
9. ALL SINGLE-PHASE SELF CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICES WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
10. ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE RODENT PROOFED WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR AS NEEDED.
11. NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.
12. CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER ONE TO IDENTIFY 'AT&TWIRELESS DISCONNECT' AND THE OTHER TO GIVE THE SITE ADDRESS.
13. ALL CONTRACTOR FURNISHED MATERIALS AND EQUIPMENT SPECIFIED ON THE PROJECT SHALL BE NEW AND UNUSED, OF CURRENT MANUFACTURE AND OF THE HIGHEST GRADE.
14. ALL EQUIPMENT, MATERIAL AND THE INSTALLATION METHODS SPECIFIED ON THE PROJECT DRAWINGS SHALL BE DESIGNED AND FABRICATED IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS, AND APPROPRIATE INDUSTRIAL CONSENSUS STANDARDS AND CODES INCLUDING ANSI, IEEE, NEMA, NFPA AND UL, ALL AS REVISED AS OF THE DATE OF THIS WORK PACKAGE.
15. ALL ELECTRICAL ITEMS BOTH CONTRACTOR AND OWNER FURNISHED SHALL BE CHECKED FOR AGREEMENT WITH THE PROJECT DRAWINGS AND SPECIFICATIONS AND SHALL BE VISUALLY INSPECTED TO ENSURE THAT EQUIPMENT IS UNDAMAGED AND IS IN PROPER ALIGNMENT, INSTALLED PER MANUFACTURER'S INSTRUCTIONS, ELECTRICAL CONNECTIONS ARE TIGHT AND PROPERLY INSULATED WHERE REQUIRED, FUSES ARE OF THE PROPER TYPE AND SIZE, AND ELECTRICAL ENCLOSURES ARE OF THE PROPER NEMA TYPE.
16. NOTIFY OWNER IN WRITING OF ALL DISCREPANCIES BETWEEN DRAWINGS / SPECIFICATIONS AND FIELD INSTALLATIONS, OR IF THE VISUAL INSPECTIONS SHOW DAMAGE OR IMPROPER INSTALLATION.
17. THE EQUIPMENT AND MATERIALS SHALL BE FURNISHED AND INSTALLED TO OPERATE SAFELY AND CONTINUOUSLY WITH NO PROTECTION FROM THE WEATHER.
18. ELECTRICAL WORK REPRESENTED ON THE PROJECT DRAWINGS IS SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS AND ELEVATIONS OF ELECTRICAL EQUIPMENT SHALL BE DETERMINED IN THE FIELD AND VERIFIED WITH THE OWNER'S REPRESENTATIVE.
19. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF TEMPORARY, IF REQUIRED, AND PERMANENT POWER WITH THE LOCAL UTILITY COMPANY. THE TEMPORARY POWER AND ALL HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.
20. PROVIDE MOLDED CASE, BOLT ON, THERMAL MAGNETIC TRIP, SINGLE TWO OR THREE POLE CIRCUIT BREAKERS. MULTIPLE POLE CIRCUIT BREAKERS SHALL BE SINGLE HANDLE COMMON TRIP. SHORT CIRCUIT INTERRUPTING RATING SHALL BE AS REQUIRED FOR AVAILABLE FAULT CURRENTS. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A SHORT CIRCUIT INTERRUPTING RATING EQUAL TO OR GREATER THAN THAT SHOWN ON THE PROJECT DRAWINGS.
21. CONTRACTOR SHALL PERFORM ALL EXCAVATION, TRENCHING, BACKFILLING, AND REMOVAL OF DEBRIS IN CONNECTION WITH THE ELECTRICAL WORK IN ACCORDANCE WITH THE PROJECT DRAWINGS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF UNDERGROUND UTILITIES AND GROUND WITH THE FOUNDATION INSTALLATION. HAND DIGGING WILL BE REQUIRED IN THE COMPOUND ONLY.
22. CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORTS FOR EQUIPMENT INSTALLED AS PART OF THIS PROJECT. SUPPORTS SHALL CONSIST OF GALVANIZED STEEL FRAMES, PLATES, BRACKETS, RACKS AND OTHER SHAPES OF ADEQUATE SIZE AND FASTENED WITH BOLTS, SCREWS OR BY WELDING TO PROVIDE RIGID SUPPORT.
23. CONTRACTOR SHALL CALL THE APPROPRIATE UTILITIES PROTECTION SERVICE BEFORE ANY UNDERGROUND WORK IS PERFORMED, SUCH AS TRENCHING, EXCAVATING, AND DRIVING GROUNDING RODS.
24. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENTLY ENGRAVED LAMINATED PHENOLIC NAMEPLATES. (MINIMUM LETTER HEIGHT SHALL BE 1/2") NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS AND AS PER AT&TWIRELESS SPECIFICATIONS.



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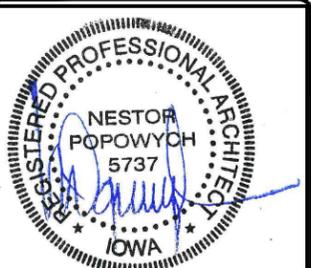


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1	05/01/14	ISSUED FOR CONSTRUCTION
0	03/25/14	ISSUED FOR CONSTRUCTION
B	03/17/14	90% FOR CONSTRUCTION



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ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
NOTES & SPECIFICATIONS

SHEET NUMBER
SP3

GENERAL RACEWAY NOTES:

1. CONDUIT AND CONDUIT FITTINGS SHALL MEET ANSI AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP AND SHALL BE UL LISTED.
 - A. RIGID STEEL CONDUIT SHALL CONFORM TO ANSI C801 AND REQUIREMENTS OF NEC, PARAGRAPH 346 AND BE STANDARD WEIGHT, MILD RIGID STEEL, HOT DIP GALVANIZED WITH INSIDE AND OUTSIDE FINISHED WITH A PROTECTIVE ZINC COATING. COUPLING ELBOWS AND BENDS SHALL MEET THESE SAME REQUIREMENTS. FITTINGS SHALL BE OF THE GALVANIZED IRON OR STEEL THREADED TYPE.
 - B. PVC CONDUIT SHALL CONFORM TO UL STANDARD 651-89 AND THE REQUIREMENTS OF NEC, PARAGRAPH 347. CONDUIT SHALL BE HEAVY WALL TYPE, SCHEDULE 40 OR 80, AND SUNLIGHT RESISTANT. FITTINGS SHALL BE OF THE UNTHREADED SOLVENT CEMENT TYPE.
 - C. EMT CONDUIT (FOR USE BEHIND WALLS OR ABOVE SUSPENDED CEILINGS ONLY). ELECTRIC METALLIC TUBING SHALL CONFORM TO ANSI C803 AND THE REQUIREMENTS OF NEC, PARAGRAPH 348 AND BE PROTECTED ON EXTERIOR WITH A ZINC COATING AND ON INTERIOR SURFACES WITH EITHER A ZINC COATING OR LACQUER ENAMEL. FITTINGS SHALL BE ZINC COATED STEEL.
2. MINIMUM CONDUIT SIZE SHALL BE 3/4", SIZES NOT SHOWN ON DRAWINGS SHALL BE PER NEC.
3. ALL SPARE CONDUITS SHALL HAVE A METALLIC PULL WIRE.
4. CONDUIT SUPPORTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH THE NEC.
5. UNDERGROUND CONDUITS.
 - A. INSTALL A WARNING TAPE TWELVE INCHES ABOVE EACH CONDUIT OR SET OF CONDUITS.
 - B. IDENTIFY EACH CONDUIT AT BOTH ENDS. INSTALL MINIMUM OF 3'-0" BELOW THE FINISHED GRADE, OR DEEPER IF NOTED ON PLAN DRAWINGS.
 - C. SLOPE A MINIMUM OF 4" PER 100'-0" TO DRAIN AWAY FROM BUILDINGS AND EQUIPMENT.
 - D. USE MANUFACTURED ELECTRICAL ELBOWS AND FITTINGS FOR BELOW GRADE BENDS.
 - E. MAKE JOINTS AND FITTINGS WATERTIGHT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 - F. INSTALL A COUPLING BEFORE EACH WALL PENETRATION.
 - G. RESTORE SURFACE FEATURES DISTURBED BY EXCAVATION (AND TRENCHING) IN ALL AREAS.

GENERAL CONDUCTOR NOTES:

1. ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET NEMA-WC, ASTM, UL, AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.
 - A. SERVICE ENTRANCE CONDUCTORS SHALL BE COPPER, 600 VOLT, SUNLIGHT RESISTANT, SUITABLE FOR WET LOCATIONS, TYPE USE-2. THE GROUNDED NEUTRAL CONDUCTOR SHALL BE IDENTIFIED WITH A WHITE MARKING AT EACH TERMINATION.
 - B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER 600 VOLT, TYPE THHN / THWN WITH A MINIMUM SIZE OF #12 AWG.
2. ALL CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING MATERIALS, SUPPORT GRIPS, MARKER AND CABLE TIES SHALL BE FURNISHED AND INSTALLED SUPPLIER'S INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FOR CABLE ACCESSORIES. THESE INSTRUCTIONS SHALL BE IN THE POSSESSION OF THE CRAFTSMAN WHILE INSTALLING THE ACCESSORIES AND SHALL BE AVAILABLE TO THE COMPANY FOR REFERENCE.
3. WHERE POSSIBLE, NO. 6 AWG AND SMALLER WIRE SHALL BE COLORED CODED BY THE COLOR OF THE INSULATION COVERING. COLOR CODING OF WIRE LARGER THAN NO. 6 AWG MAY BE BY MEANS OF SELF-ADHESIVE WRAP AROUND TYPE MARKERS, PER NEC.
4. TERMINAL CONNECTOR FOR CONDUCTORS 8 AWG AND LARGER SHALL BE PRESSURE OR BOLTED CLAMP TYPE BURNDY QUIKLUK, VARILUG OR ACCEPTABLE EQUAL: OR COMPRESSION TYPE, BURNDY TYPE YAV OR YA (LONG BARREL), PANDUIT TYPE LCA OR LCC, OR ACCEPTABLE EQUAL. ACCEPTABLE CONNECTORS INCLUDED WITH COMPANY-FURNISHED EQUIPMENT MAY BE USED.
5. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED 100 AMPERES OR LESS OR MARKED FOR NOS. 14 THROUGH 1 CONDUCTORS, SHALL BE USED ONLY FOR CONDUCTORS RATED 66°C (140°F). CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OR THE CONDUCTOR SIZE USED.
6. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED OVER 100 AMPERES, OR MARKED FOR CONDUCTORS LARGER THAN NO.1 SHALL BE USED ONLY FOR CONDUCTORS RATED 75°C (167°F) CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASED UPON THE 75°C (167°F) AMPACITY OF THE CONDUCTOR SIZE USED.

GENERAL CONDUCTOR NOTES (CONTINUED):

7. ALL 600 VOLT OR LESS WIRING, WHERE COMPRESSION TYPE CONNECTORS ARE USED, SHALL BE INSULATED WITH AT LEAST ONE TURN OF 'SCOTCHFILL' ELECTRICAL INSULATING PUTTY AND THEN COVERED WITH TWO HALF TURNS OF TAPE SIMILAR TO 3M COMPANY'S '33 PLUS (33+) PLASTIC TAPE OR 88 OUTDOOR TAPE.
8. TERMINAL CONNECTORS FOR CONDUCTORS SMALLER THAN 8 AWG SHALL BE COMPRESSION TYPE CONNECTORS SIZED FOR THE CONDUCTOR AND THE TERMINAL. THE CONNECTORS SHALL BE CONSTRUCTED OF FINE GRADE HIGH CONDUCTIVITY COPPER IN ACCORDANCE WITH QQ-C-516 AND SHALL BE TIN-PLATED IN ACCORDANCE WITH MIL-T-10727. THE INTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE SERRATED AND THE EXTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE PROVIDED WITH CRIMP GUIDES.

GENERAL GROUNDING NOTES:

1. ALL WORK SHALL COMPLY WITH THE LATEST AT&TWIRELESS GROUNDING SPECIFICATIONS AND REQUIREMENTS.
2. ALL METALLIC COMPONENTS ON THE SITE MUST BE GROUNDED TO THE GROUND RING. THIS INCLUDES STEEL CONDUITS USED TO DELIVER THE TELCO AND POWER UTILITY LINES TO THE SITE OR USED TO PROVIDE ACCESS BY UTILITIES OR CONTRACTORS TO THE VARIOUS CABINETS.
3. ALL GROUND LEADS ABOVE GRADE SHALL BE INSTALLED IN 3/4" SCHEDULE 40 PVC.
4. WHEN EARTH RESISTANCE TEST INDICATES THAT THE SOIL IS ABOVE MINIMUM ALLOWABLE RESISTANCE, THAN THE CONTRACTOR SHALL ESTIMATE THE TYPE, NUMBER AND ARRANGEMENT OF EARTH ELECTRODES. CONTRACTOR SHALL ALSO CONSIDER COMPANY'S SITE SPECIFIC APPROACHES FOR IMPROVING EARTH RESISTANCE AT THE SITE BY METHODS INDICATED BELOW:

RAW LAND

 - A. USE MULTIPLE RODS
 - B. LENGTHEN THE EARTH ELECTRODE
 - C. TREAT THE SOIL
 - D. USE CHEMICAL RODS

5. THE CONTRACTOR MUST VERIFY THAT NEW GROUNDING SYSTEM RESISTANCE IS EQUAL TO OR LESS THAN FIVE (5) OHMS PER AT&TWIRELESS SPECIFICATIONS.
6. RUN ALL GROUND WIRES IN AN ORGANIZED MANNER, AVOID CROSSING OF WIRES WHEREVER POSSIBLE. DO NOT RUN WIRES OVER CONCRETE SLAB.
7. INSTALL ALL GROUND WIRES IN A DOWNWARD SLOPE FOR MAXIMUM LIGHTNING PROTECTION.
8. MAINTAIN ALL MINIMUM BENDING RADII OF THE GROUNDING WIRES.
9. DO NOT REMOVE MORE INSULATION FROM THE GROUND WIRES THAN NECESSARY WHEN CADWELDING OR CRIMPING IF EXCESS INSULATION IS REMOVED, THE CONNECTION WILL BE CONSIDERED UNACCEPTABLE AND WILL BE CORRECTED PER THE AT&TWIRELESS REPRESENTATIVE'S DIRECTION.
10. DOWN LEAD FOR ANTENNA SECTORS MUST BE CONNECTED DIRECTLY TO THE GROUND RING.
11. ALL BASE TRANSCEIVER SITE EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE INTERNATIONAL ELECTRICAL CODE (NEC), AND THE LATEST EDITION OF LIGHTNING PROTECTION CODE NFPA 780 AND AT&TWIRELESS STANDARDS.
12. THE ELECTRICAL SERVICE TO THE SITE SHALL BE GROUNDED AT THE SERVICE DISCONNECTING MEANS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRIC CODE, IN ACCORDANCE WITH ANY LOCAL CODE.
13. ALL UNDERGROUND (BELOW GRADE) GROUNDING CONNECTIONS SHALL BE MADE BY THE CADWELD PROCESS (MECHANICAL LUG ATTACHMENTS BELOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL INCLUDE ALL CABLE SPLICES (TEES, X'S, ETC.) ALL CABLE CONNECTIONS TO GROUND RODS, GROUND ROD SPLICES, AND LIGHTNING PROTECTION SYSTEM AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METALS, TOOLS, ETC.) SHALL BE BY CADWELD AND INSTALLED PER MANUFACTURERS RECOMMENDATION AND PROCEDURES.
14. ALL GROUNDING AND BONDING CONDUCTORS THAT ARE CONNECTED ABOVE GRADE INTERIOR TO A BUILDING SHALL BE CONNECTED USING TWO HOLE CRIMP TYPE (COMPRESSION) CONNECTORS FOR #2 AND #6 AWG INSULATED COPPER CONDUCTOR.
15. ALL GROUNDING CONNECTIONS, INTERIOR AND EXTERIOR, MADE THROUGHOUT THIS DOCUMENT SHALL BE MADE USING AN ANTI-OXIDATION COMPOUND, THE ANTI-OXIDATION COMPOUND SHALL BE 'THOMAS AND BETTS' KOPR-SHIELD (TIM OF JET LUBE, INC.) THERE IS NO EQUIVALENT FOR THIS PRODUCT: NO OTHER COMPOUND WILL BE ACCEPTED. COAT ALL WIRES BEFORE LUGGING. COAT ALL SURFACES BEFORE CONNECTING.

GENERAL GROUNDING NOTES (CONTINUED):

16. ALL CONNECTIONS SHALL BE MADE TO BARE METAL. ALL PAINTED SURFACES SHALL BE FIELD INSPECTED AND MODIFIED TO ENSURE PROPER CONTACT PRIOR TO CADWELD, GALVANIZING SHALL BE REMOVED BY GRINDING SURFACE TO BARE METAL 'SLAG' FROM CADWELD MUST BE REMOVED AND WELD SHALL BE SPRAYED WITH COLD GALVANIZE AFTER COMPLETION.
17. FERROUS METAL CLIPS WHICH COMPLETELY SURROUND THE GROUNDING CONDUCTOR SHALL NOT BE USED. CLIPS OF THE FOLLOWING MATERIALS AND TYPES MAY BE USED TO SUPPORT GROUNDING CONDUCTORS.
 - PLASTIC CLIPS
 - STAINLESS STEEL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
 - FERROUS METAL CLIPS WHICH DO NOT COMPLETELY SURROUND THE GROUNDING CONDUCTOR.
18. ALL BELOW GRADE GROUNDING CONDUCTORS SHALL BE BARE SOLID COPPER WIRE. ABOVE-GRADE GROUNDING CONDUCTORS MAY BE EITHER OR AS INDICATED ON THE DRAWINGS:
 - BARE TINNED SOLID COPPER WIRE
 - THWN-INSULATED, CONTINUOUS GREEN COLOR, SOLID COPPER WIRE
 - THWN-INSULATED, CONTINUOUS GREEN COLOR STRANDED COPPER WIRE
 - A. THE UNDERGROUND GROUND RING SHALL HAVE A #2 AWG BARE TINNED SOLID COPPER WIRE.
 - B. #2 THWN SHALL BE STRANDED COPPER WITH GREEN THWN INSULATION SUITABLE FOR WET INSTALLATION (OR SOME ABOVE GROUND APPLICATIONS, I.E. INDOOR GROUNDING RING)
 - C. #2 BARE TINNED COPPER SHALL BE SOLID. ALL BURIED WIRE SHALL MEET THIS CRITERIA INCLUDING CABLE TRAY GROUNDING WIRES AND WIRES INDICATED ON THE DRAWINGS.

(THE MINIMUM BEND RADIUS IS 8" FOR #6 AWG AND SMALLER, AND 12 INCHES FOR WIRE LARGER THAN #6 AWG)
19. ALL HARDWARE, BOLTS, NUTS, WASHERS, AND LOCK WASHERS SHALL BE 18-8 STAINLESS STEEL. EVERY CONNECTION SHALL BE (BOLT-FLATWASHER-BUSS-LUG-FLATWASHER-LOCKWASHER-NUT), IN THAT EXACT ORDER WITH NUT FACING OUTWARD, BACK TO BACK LUGGING SHALL BE (BOLT-FLATWASHER-LUG-FLATWASHER-LUG-BUSS-LUG-FLATWASHER-LOCK WASHER-NUT), IN THAT EXACT ORDER IS ACCEPTED WHERE NECESSARY TO CONNECT MANY LUGS TO A BUSS BAR. STACKING OF LUGS, BUS-LUG-LUG, IS NOT ACCEPTABLE.
20. THE COMPRESSION GROUND LUG FOR #2 AWG BARE SOLID GROUNDING CONDUCTORS SHALL BE BURNDY TYPE YA3C-2TC.
21. THE ANTENNA CABLES SHALL BE GROUNDED AT THE TOP AND BOTTOM OF THE VERTICAL RUN. THE ANTENNA CABLE SHIELD SHALL BE BONDED TO A COPPER GROUND BUS AT THE LOWEST POINT OF THE VERTICAL RUN. THE ANTENNA CABLE SHIELD SHALL BE GROUNDED JUST BEFORE ENTERING THE BTS. GROUNDING KITS ON COAX CABLE SHALL HAVE A MINIMUM BEND OF 6" AND SHALL BE KEPT AS CLOSE TO VERTICAL AS POSSIBLE. FLAT WASHER SUPPLIED WITH GROUND KITS MUST BE REPLACED WITH SMALLER STAINLESS STEEL FLAT WASHERS, WASHERS MUST REMAIN FLAT AGAINST GROUND BAR, ALL FASTENERS MUST BE STAINLESS STEEL AND KOPR-SHIELD MUST BE USED ON BOTH SIDES OF THE GROUND BAR.



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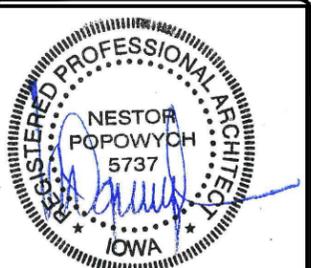


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B	03/17/14	90% FOR CONSTRUCTION

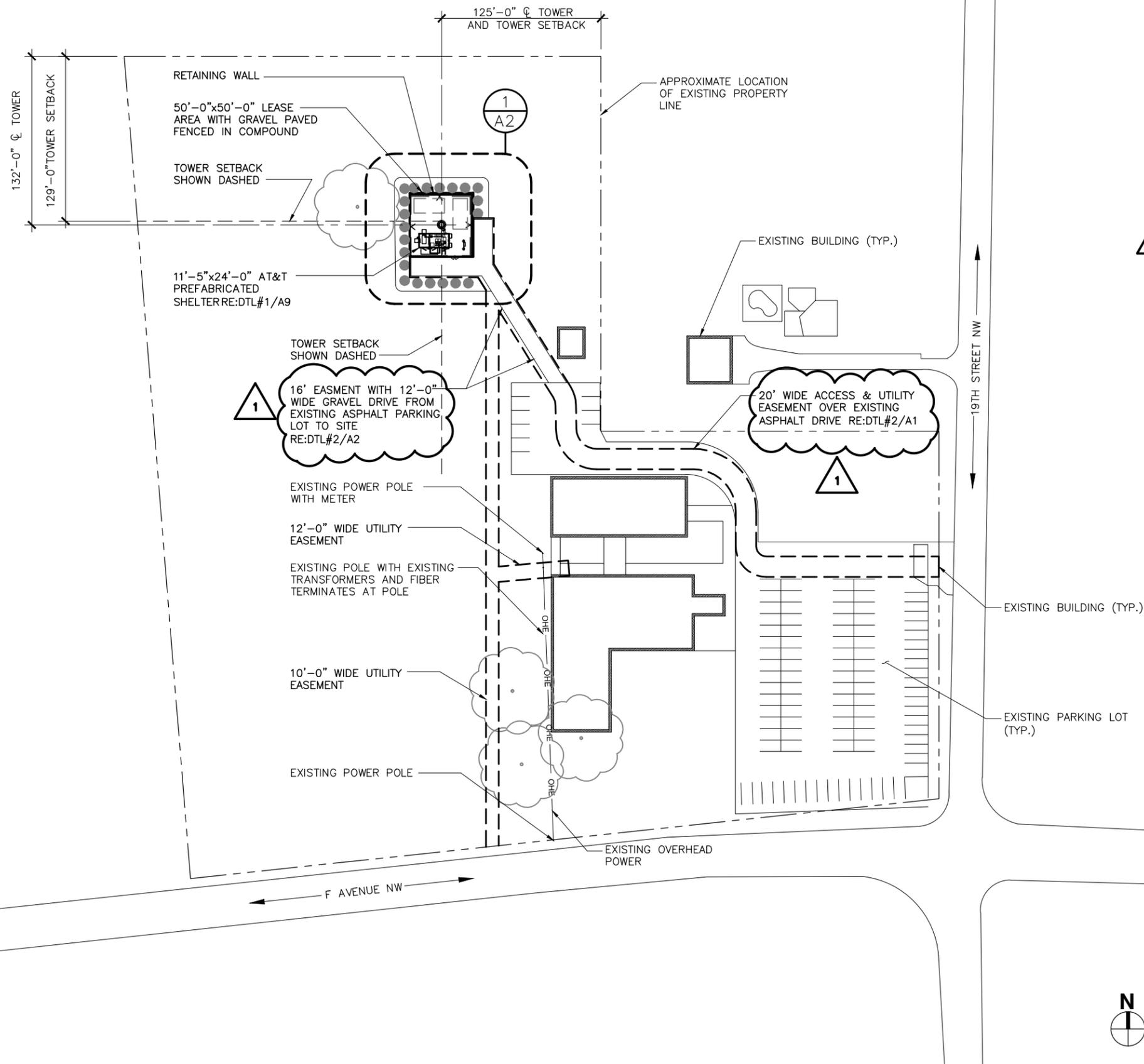


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MONOPOLE

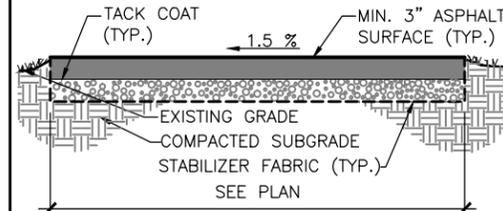
SHEET TITLE
NOTES & SPECIFICATIONS

SHEET NUMBER
SP4



ASPHALT PAVEMENT NOTE
 CONTRACTOR TO VERIFY ASPHALT PAVEMENT.

ACCESS DRIVE
 BASE COURSE: 6" MIN. OF COMPACTED CA-3 COARSE AGGREGATE.
 TOP COURSE: 3" MIN. OF ASPHALT PAVEMENT.



ASPHALT PAVING DETAIL
 NOT TO SCALE

- GENERAL NOTES:**
- ELEVATIONS ARE ABOVE MEAN SEA LEVEL.
 - DO NOT SCALE DIMENSIONS FROM THIS DRAWING.
 - ALL EXISTING RECORDED EASEMENTS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECT'S KNOWLEDGE PER VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM AT&T WIRELESS.
 - REFER TO SP1 AND SP2 FOR EROSION CONTROL AND SOIL STABILIZATION METHODS

SURVEY BENCHMARK/PROJECT DATUM

LOCATION: SEE LAND SURVEY
 ELEVATION: SEE LAND SURVEY
 LATITUDE: SEE LAND SURVEY
 LONGITUDE: SEE LAND SURVEY

PROJECT DATUM: 779.50' A.M.S.L.
 (TOP OF CAISSON = +0.00)

LEGEND

EXISTING		NEW
— SAS —	SANITARY SEWER	— SAS —
— STS —	STORM SEWER	— STS —
— W —	WATER MAIN	— W —
(RIM INV)	SANITARY MANHOLE ELEVATIONS	(RIM INV)
(RIM INV)	STORM STRUCTURE ELEVATIONS	(RIM INV)
---	PROPERTY LINE & R.O.W.	---
↗	SURFACE DRAINAGE	↗
○	LIGHT STANDARD	●
○	STREET LIGHT	●
672.75	SPOT ELEVATION	672.75
672	CONTOUR	672
672	CONTOUR TO BE REGRADED	672
— G — G —	GAS MAIN	— G — G —
⊙	MANHOLE	⊙
○	CATCH BASIN	●
⊕	FIRE HYDRANT	●
---	EASEMENT LINE	---
-x-x-x-x-	FENCE	-x-x-x-x-
---UE/UT---	BURIED UTILITY LINE	---UE/UT---
∅	UTILITY POLE	∅
— OHE —	OVERHEAD UTILITY LINE	— OHE —
////	BUILDING	////

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REV	DATE	DESCRIPTION
1	05/01/14	ISSUED FOR CONSTRUCTION
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B	03/17/14	90% FOR CONSTRUCTION

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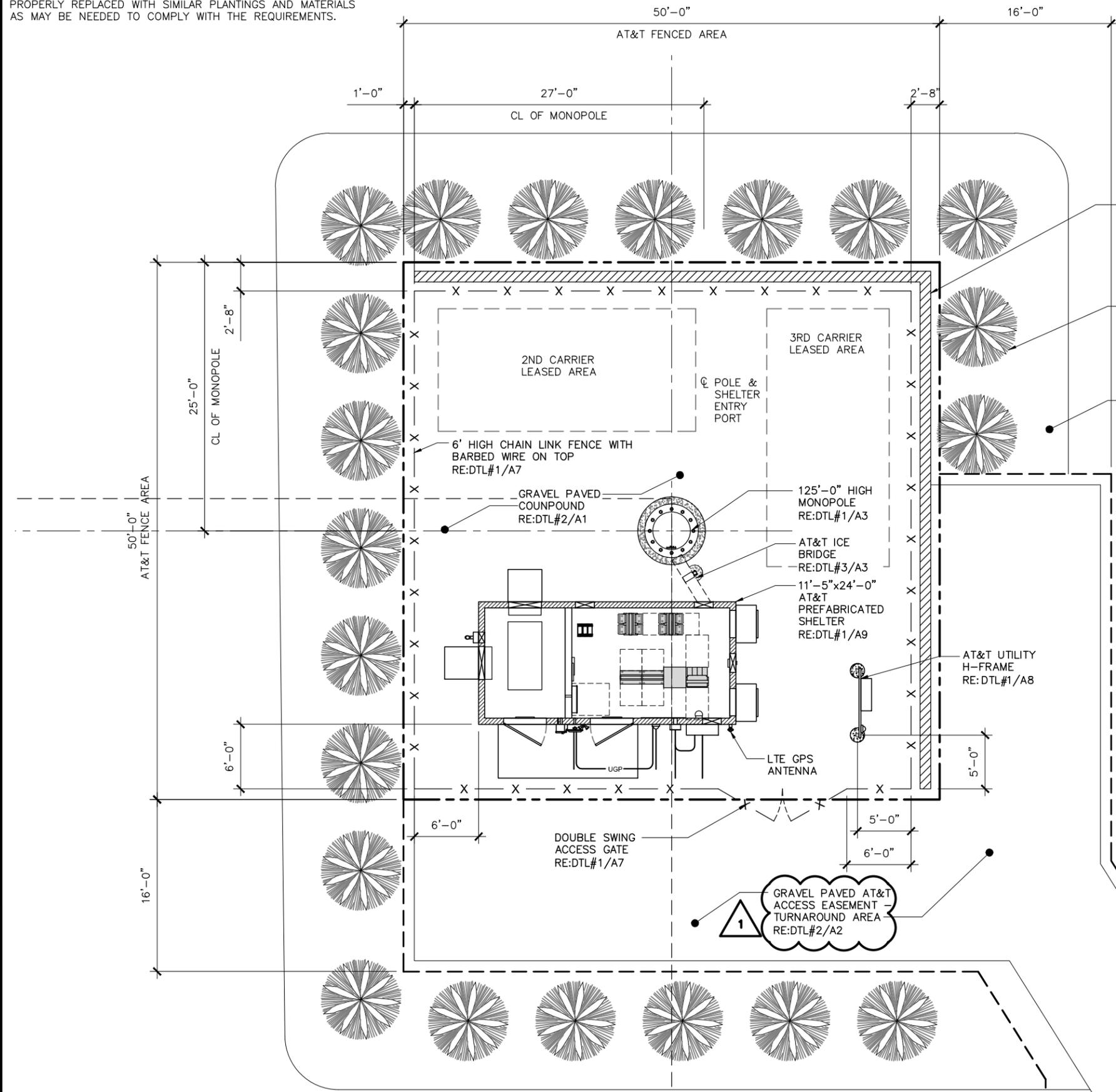
DESMIAU5313
 ROOSEVELT MIDDLE SCHOOL
 1900 F AVENUE NW
 CEDAR RAPIDS, IA 52405
 MONOPOLE

SHEET TITLE
SITE PLAN & LEGEND

SHEET NUMBER
A1

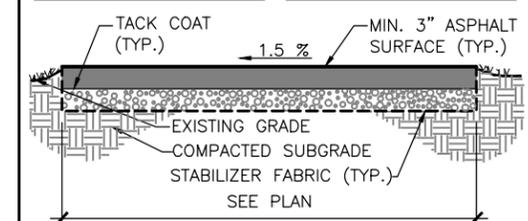
SITE PLAN
 SCALE: 1" = 90'-0"

LANDSCAPING NOTE: ANY PLANTINGS AND OTHER FEATURES USED TO SCREEN SHALL BE MAINTAINED AT ALL TIMES AND PROPERLY REPLACED WITH SIMILAR PLANTINGS AND MATERIALS AS MAY BE NEEDED TO COMPLY WITH THE REQUIREMENTS.



ASPHALT PAVEMENT NOTE
CONTRACTOR TO VERIFY ASPHALT PAVEMENT.

ACCESS DRIVE
BASE COURSE: 6" MIN. OF COMPACTED CA-3 COARSE AGGREGATE.
TOP COURSE: 3" MIN. OF ASPHALT PAVEMENT.



SIENA CAST STONE RETAINING WALL

ONE ROW OF SHRUBS AROUND PERIMETER
TECHNY ARBORVITAE SCREENING AROUND FENCE
- 5FT HEIGHT AT TIME OF PLANTING 10' ON CENTER MAXIMUM.

LANDSCAPING FABRIC & 3" THICK MULCH LAYER
±10'-12' WIDTH

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ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
COMPOUND PLAN

SHEET NUMBER
A2

LEGEND

EXISTING		NEW
— SAS —	SANITARY SEWER	— SAS —
— STS —	STORM SEWER	— STS —
— W —	WATER MAIN	— W —
(RIM INV)	SANITARY MANHOLE ELEVATIONS	(RIM INV)
(RIM INV)	STORM STRUCTURE ELEVATIONS	(RIM INV)
---	PROPERTY LINE & R.O.W.	---
↗	SURFACE DRAINAGE	↗
○	LIGHT STANDARD	●
○	STREET LIGHT	●
672.75	SPOT ELEVATION	672.75
672	CONTOUR	672
672	CONTOUR TO BE REGRADED	672
— G — G —	GAS MAIN	— G — G —
⊙	MANHOLE	⊙
○	CATCH BASIN	●
⊕	FIRE HYDRANT	●
---	EASEMENT LINE	---
-x-x-x-x-	FENCE	-x-x-x-x-
---UE/UT---	BURIED UTILITY LINE	---UE/UT---
∅	UTILITY POLE	∅
— OHE —	OVERHEAD UTILITY LINE	— OHE —
////	BUILDING	////

COMPOUND PLAN
SCALE: 3/32" = 1'-0"

1

STRUCTURAL NOTES:

1. TOWER STRUCTURAL CALCULATIONS PREPARED BY OTHERS. CONTRACTOR TO VERIFY WITH PROJECT MANAGER TO OBTAIN A COPY
2. CONTRACTOR TO REFER TO TOWER STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.

TOP OF AT&T LIGHTNING ROD
ELEVATION: 125'-0"

CL AT&T ANTENNAS
ELEVATION: 115'-0"

AT&T ANTENNAS, RRUS, AND TMAS ON NEW ANTENNA PLATFORM WITH GUARDRAIL RE:DTL#2/A3
OTHER CARRIER FUTURE ANTENNAS (TYP.) EXACT ANTENNA RAD CENTERS TBD AT A LATER DATE

AT&T CABLING (COAX, FIBER, DC POWER CABLES) ROUTED UP INSIDE TOWER TO ANTENNA LEVEL SUPPORTED BY HOISTING GRIPS HUNG FROM J-HOOKS INSIDE POLE.

ANTENNA NOTES:

1. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO ACHIEVE THE AZIMUTHS SPECIFIED AND LIMIT SHADOWING AND TO MEET THE SYSTEM REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY THE HEIGHT OF THE ANTENNA WITH THE AT&T WIRELESS PROJECT MANAGER.
3. VERIFY TYPE AND SIZE OF TOWER LEG PRIOR TO ORDERING ANY ANTENNA MOUNT.
4. UNLESS NOTED OTHERWISE THE CONTRACTOR MUST PROVIDE ALL MATERIAL NECESSARY.
5. ANTENNA AZIMUTHS ARE DEGREES OFF OF TRUE NORTH, BEARING CLOCKWISE, IN WHICH ANTENNA FACE IS DIRECTED. ALL ANTENNAS (AND SUPPORTING STRUCTURES AS PRACTICAL) SHALL BE ACCURATELY ORIENTED IN THE SPECIFIED DIRECTION.
6. CONTRACTOR SHALL VERIFY ALL RF INFORMATION PRIOR TO CONSTRUCTION.
7. SWEEP TEST SHALL BE PERFORMED BY GENERAL CONTRACTOR AND SUBMITTED TO AT&T WIRELESS CONSTRUCTION SPECIALIST. TEST SHALL BE PERFORMED PER AT&T WIRELESS STANDARDS.

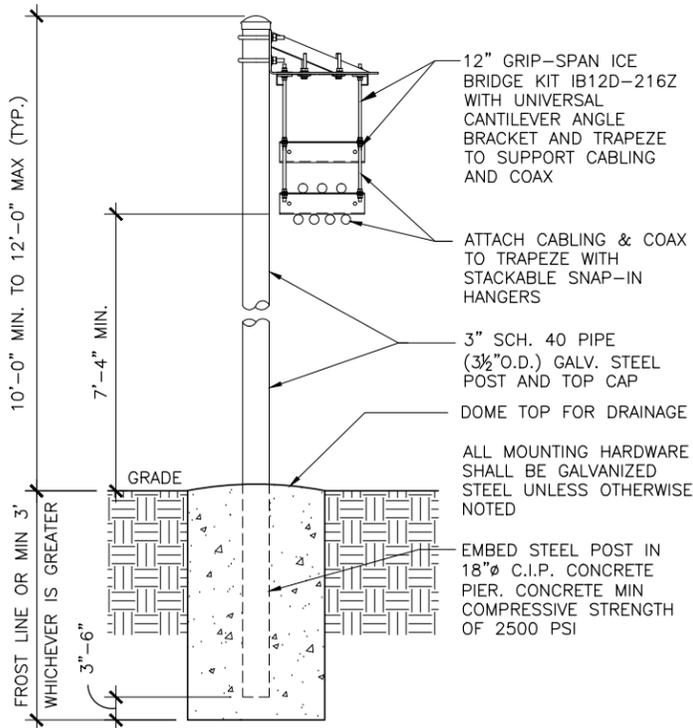
(1) FIBER TRUNK AND (5) 3-PAIR DC POWER TRUNK ROUTED INSIDE MONOPOLE

11'-5"x24'-0" EQUIPMENT SHELTER
RE: DTL #1/A9

NEW CHAIN LINK FENCE
RE: DTL#1/A7

T/GRADE @ TOWER
EL: 0'-0" (779.0' AMSL)

TOWER ELEVATION
SCALE: 1/16"=1'-0"



ICE/CABLE BRIDGE DETAIL
SCALE: 1/2" = 1'-0"

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

SITE WORK:

- INSTALL GRAVEL PAVING FOR ACCESS EASEMENT AND COMPOUND EXTENSION
- INSTALL (1) 11'-5"x24'-0" FIBERBOND EQUIPMENT SHELTER
- INSTALL (1) ICEBRIDGE W/ SUPPORT POST (APPROX. 20'-9" LONG)
- INSTALL (1) CHAINLINK FENCE, AS PER DRAWING
- INSTALL (1) H-FRAME W/METER SOCKET, DISCONNECT, & HOFFMAN BOX

TOWER WORK:

- INSTALL (3) SECTOR FRAMES
- INSTALL (1) LOW PROFILE PLATFORM P/N# ANDREW MC-PK12S-9-72WITH UPPER SUPPORT RAIL P/N# MT-195-12
- INSTALL (6) RRH LTE 700L P2, 2 PER SECTOR
- INSTALL (3) RRH LTE PCS, 1 PER SECTOR
- INSTALL (9) ANTENNAS 3 PER SECTOR
- INSTALL (3) DTMA'S , 1 PER SECTOR
- INSTALL (2) RAYCAP DC6-48-60-18-8F SURGE PROTECTION UNIT
- INSTALL (12) ANDREW P/N# MT-537 ANTENNA MOUNTING PIPES
- INSTALL (MULTIPLE) ANDREW P/N# MT-219-H PIPE MOUNT KIT
- INSTALL (6) COAX CABLE
- INSTALL (6) DC POWER CABLE
- INSTALL (1) FIBER CABLE
- INSTALL (1) ALARM CABLE

SHELTER WORK:

- INSTALL (1) EMERSON POWER BAY
- INSTALL (1) EMERSON BATTERY STACK
- INSTALL (3) 23" FIF RACKS
- INSTALL (3) UMTS 1900 (2X60) RRH'S, MOUNTED TO FIF RACK
- INSTALL (2) RACK MOUNTED SS-DC-48-60-RM
- INSTALL (6) KATHREIN 782-11320 DIPLEXERS, 2 PER SECTORS
- INSTALL (1) GENERATOR
- INSTALL (1) LTE GPS UNIT

PROJECT DESCRIPTION



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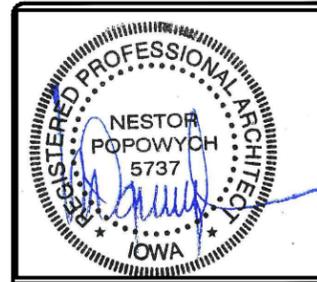
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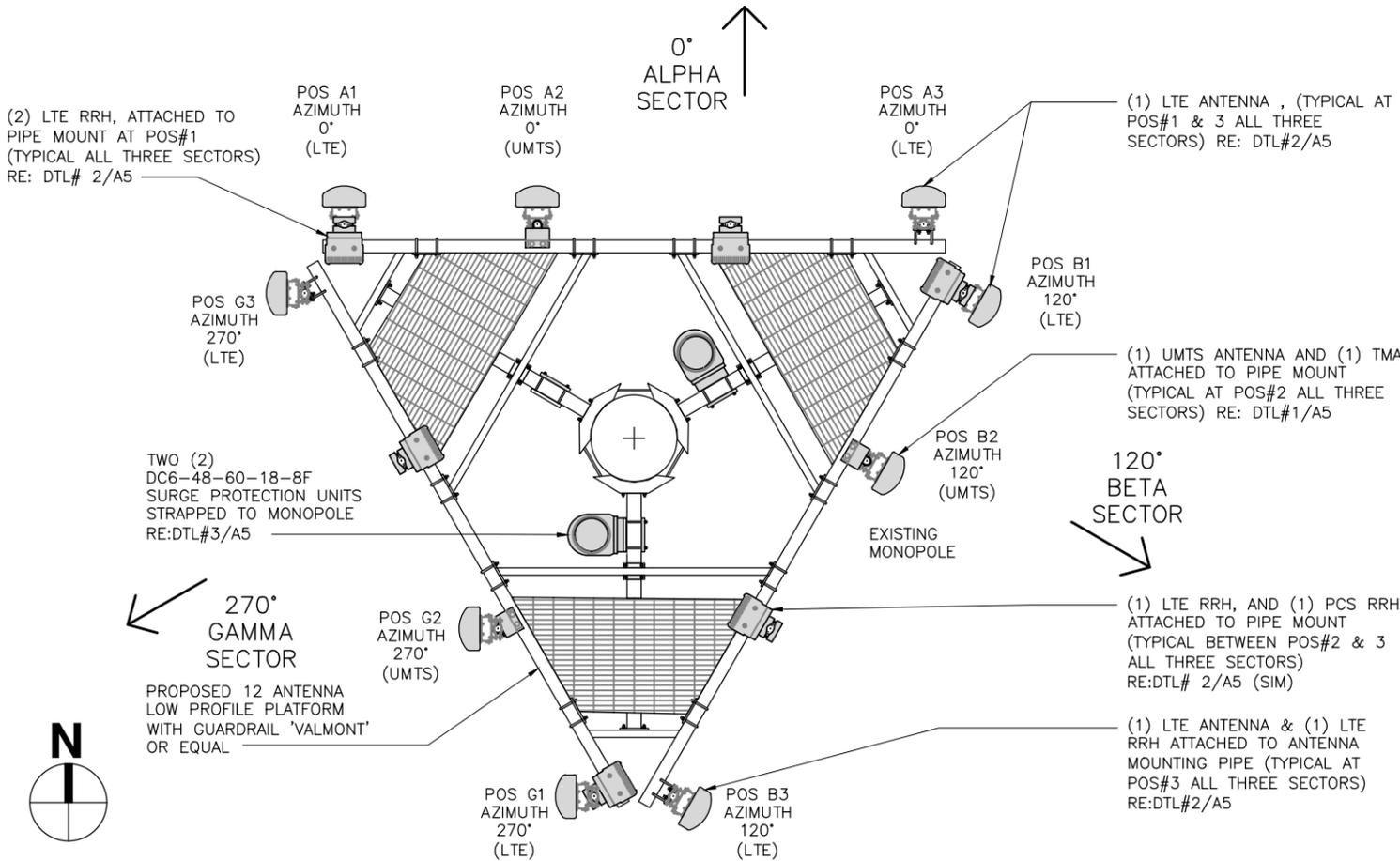
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1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
TOWER ELEVATION & ANTENNA PLAN

SHEET NUMBER

A3



ANTENNA PLAN
SCALE: 1/4"=1'-0"

120'-0" TOP OF TOWER
115'-0" CL OF AT&T ANTENNAS PANELS

1

2

AT&T Cable Color Code Chart for MNP

For Single Band Antennas with Single or Dual Feed. For Jumpers to Diplexers on Dual Band Systems

Sector	Technology	Frequency	TX / RX	1st Color	2nd Color
Alpha (X)	GSM	850	TXM / RXM	1 Red	1 Blue
Alpha (X)	GSM	850	TXD / RXD	1 Red	2 Blue
Alpha (X)	GSM	1900	TXM / RXM	1 Red	1 Brown
Alpha (X)	GSM	1900	TXD / RXD	1 Red	2 Brown
Alpha (X)	UMTS	850	TXM / RXM	1 Red	1 Green
Alpha (X)	UMTS	850	TXD / RXD	1 Red	2 Green
Alpha (X)	UMTS	1900	TXM / RXM	1 Red	1 Violet
Alpha (X)	UMTS	1900	TXD / RXD	1 Red	2 Violet
Alpha (X)	LTE	700	TXM / RXM	1 Red	1 Gray
Alpha (X)	LTE	700	TXD / RXD	1 Red	2 Gray
Beta (Y)	GSM	850	TXM / RXM	1 Orange	1 Blue
Beta (Y)	GSM	850	TXD / RXD	1 Orange	2 Blue
Beta (Y)	GSM	1900	TXM / RXM	1 Orange	1 Brown
Beta (Y)	GSM	1900	TXD / RXD	1 Orange	2 Brown
Beta (Y)	UMTS	850	TXM / RXM	1 Orange	1 Green
Beta (Y)	UMTS	850	TXD / RXD	1 Orange	2 Green
Beta (Y)	UMTS	1900	TXM / RXM	1 Orange	1 Violet
Beta (Y)	UMTS	1900	TXD / RXD	1 Orange	2 Violet
Beta (Y)	LTE	700	TXM / RXM	1 Orange	1 Gray
Beta (Y)	LTE	700	TXD / RXD	1 Orange	2 Gray
Gamma (Z)	GSM	850	TXM / RXM	1 Yellow	1 Blue
Gamma (Z)	GSM	850	TXD / RXD	1 Yellow	2 Blue
Gamma (Z)	GSM	1900	TXM / RXM	1 Yellow	1 Brown
Gamma (Z)	GSM	1900	TXD / RXD	1 Yellow	2 Brown
Gamma (Z)	UMTS	850	TXM / RXM	1 Yellow	1 Green
Gamma (Z)	UMTS	850	TXD / RXD	1 Yellow	2 Green
Gamma (Z)	UMTS	1900	TXM / RXM	1 Yellow	1 Violet
Gamma (Z)	UMTS	1900	TXD / RXD	1 Yellow	2 Violet
Gamma (Z)	LTE	700	TXM / RXM	1 Yellow	1 Gray
Gamma (Z)	LTE	700	TXD / RXD	1 Yellow	2 Gray
Fiber Trunk	LTE	700		1 White	1 Gray
DC Trunk 1	LTE	700		1 White	1 Gray
DC Trunk 2	LTE	700		1 White	1 Gray

Color Code for Main Coax Lines between Diplexer

Sector & Diplexer Port	Antenna 1	Antenna 2	Antenna 3	Antenna 4
Alpha Port 1	1 Red	2 Red	3 Red	4 Red
Alpha Port 2	1 Red	2 Red	3 Red	4 Red
Antenna 1 is on the left as you stand behind the antennas.	1 White	1 White	1 White	1 White
Beta Port 1	1 Orange	2 Orange	3 Orange	4 Orange
Beta Port 2	1 Orange	2 Orange	3 Orange	4 Orange
Antenna 1 is on the left as you stand behind the antennas.	1 White	1 White	1 White	1 White
Gamma	1 Yellow	2 Yellow	3 Yellow	4 Yellow
Gamma	1 Yellow	2 Yellow	3 Yellow	4 Yellow
Antenna 1 is on the left as you stand behind the antennas.	1 White	1 White	1 White	1 White

CABLE COLOR CODING NO SCALE

5

ANTENNA SCHEDULE									
SECTOR	ANTENNA POSITION	TYPE	AZ (DEG)	ANTENNA MFR/ MODEL	ANTENNA C	CABLE TYPE	CABLE QUANTITY	CABLE SIZE	CABLE LENGTH
SECTOR ALPHA	1	LTE	0°	SEE RFDS	125'	DC/FIBER	4DC-2FIBER TOTAL	TBD	±170'
	2	UMTS	0°	SEE RFDS	125'	COAX	2	1 5/8"ø	±170'
	3	LTE	0°	SEE RFDS	125'	DC/FIBER	SEE POS#1 ABOVE	TBD	±170'
PROPOSED ANTENNA SCHEDULE									
SECTOR	ANTENNA POSITION	TYPE	AZ (DEG)	ANTENNA MFR/ MODEL	ANTENNA CENTERLINE	CABLE TYPE	CABLE QUANTITY	CABLE SIZE	CABLE LENGTH
SECTOR BETA	1	LTE	120°	SEE RFDS	125'	DC/FIBER	4DC-2FIBER TOTAL	TBD	±150'
	2	UMTS	120°	SEE RFDS	125'	COAX	2	1 5/8"ø	±150'
	3	LTE	120°	SEE RFDS	125'	DC/FIBER	SEE POS#1 ABOVE	TBD	±150'
PROPOSED ANTENNA SCHEDULE									
SECTOR	ANTENNA POSITION	TYPE	AZ (DEG)	ANTENNA MFR/ MODEL	ANTENNA CENTERLINE	CABLE TYPE	CABLE QUANTITY	CABLE SIZE	CABLE LENGTH
SECTOR GAMMA	1	LTE	240°	SEE RFDS	125'	DC/FIBER	4DC-2FIBER TOTAL	TBD	±150'
	2	UMTS	240°	SEE RFDS	125'	COAX	2	1 5/8"ø	±150'
	3	LTE	240°	SEE RFDS	125'	DC/FIBER	SEE POS#1 ABOVE	TBD	±150'

ANTENNA SCHEDULE NO SCALE

4

- CONTRACTOR IS TO REFER TO AT&T'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
- CABLE LENGTHS WERE DETERMINED BASED ON THE DESIGN DRAWING. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK.
- CONTRACTOR TO USE ROSENBERGER FIBER LINE HANGER COMPONENTS (OR ENGINEER APPROVED EQUAL).

ANTENNA AND CABLING NOTES

3

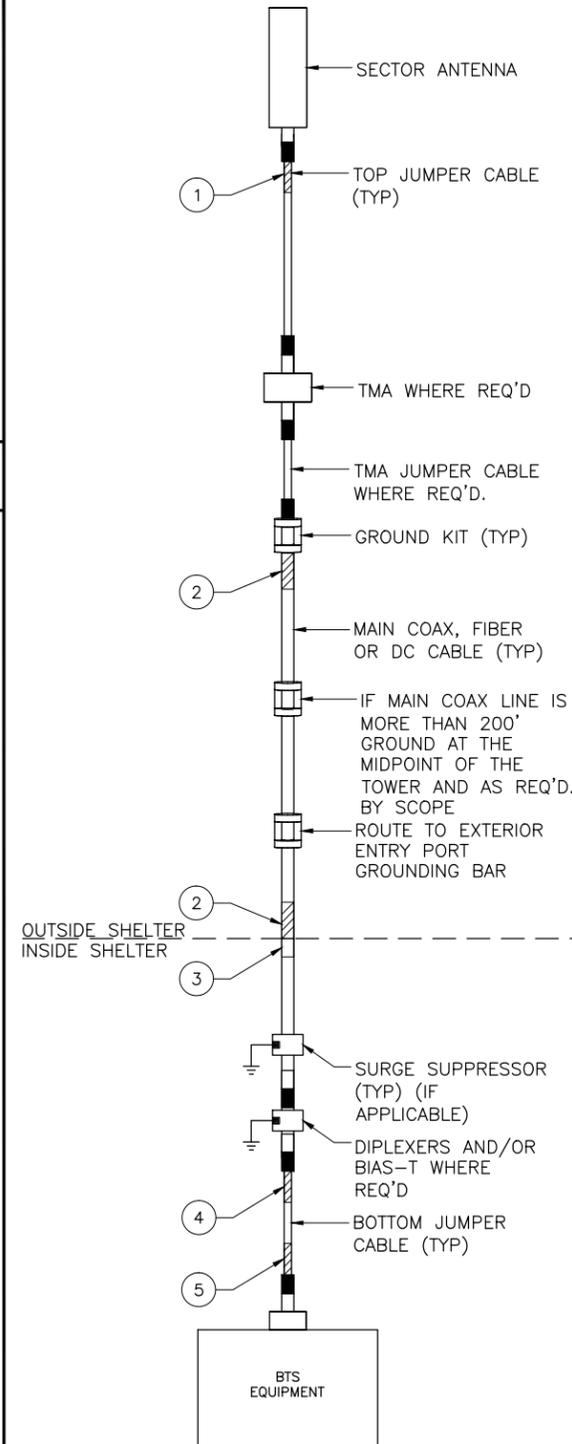
RF, DC, & COAX CABLE MARKING LOCATIONS TABLE

NO	LOCATIONS
1	EACH TOP-JUMPER SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS.
2	EACH MAIN COAX SHALL BE COLOR CODED WITH (1) SET OF 3" WIDE BANDS NEAR THE TOP-JUMPER CONNECTION AND WITH (1) SET OF 3/4" WIDE COLOR BANDS JUST PRIOR TO ENTERING THE BTS OR TRANSMITTER BUILDING.
3	CABLE ENTRY PORT ON THE INTERIOR OF THE SHELTER.
4	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.
5	ALL BOTTOM JUMPERS SHALL BE COLOR CODED WITH (1) SET OF 3/4" WIDE BANDS ON EACH END OF THE BOTTOM JUMPER.

- THE ANTENNA SYSTEM COAX SHALL BE LABELED WITH VINYL TAPE.
- THE STANDARD IS BASED ON EIGHT COLORED TAPES-RED, BLUE, GREEN, YELLOW, ORANGE, BROWN, WHITE, AND VIOLET. THESE TAPES MUST BE 3/4" WIDE & UV RESISTANT SUCH AS SCOTCH 35 VINYL ELECTRICAL COLOR CODING TAPE AND SHOULD BE READILY AVAILABLE TO THE ELECTRICIAN OR CONTRACTOR ON SITE.
- USING COLOR BANDS ON THE CABLES, MARK ALL RF CABLE BY SECTOR AND CABLE NUMBER AS SHOWN ON "CABLE COLOR CHART".
- WHEN AN EXISTING COAXIAL LINE THAT IS INTENDED TO BE A SHARED LINE BETWEEN TECHNOLOGIES IS ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE EXISTING COLOR CODING SCHEME AND REPLACE IT WITH THE COLOR CODING STANDARD. IN THE ABSENCE OF AN EXISTING COLOR CODING AND TAGGING SCHEME, OR WHEN INSTALLING PROPOSED COAXIAL CABLES, THIS GUIDELINE SHALL BE IMPLEMENTED AT THAT SITE REGARDLESS OF TECHNOLOGY.
- ALL COLOR CODE TAPE SHALL BE 3M-35 AND SHALL BE INSTALLED USING A MINIMUM OF (3) THREE WRAPS OF TAPE AND SHALL BE NEATLY TRIMMED AND SMOOTHED OUT SO AS TO AVOID UNRAVELING.
- ALL COLOR BANDS INSTALLED AT THE TOP OF THE TOWER SHALL BE A MINIMUM OF 3" WIDE, AND SHALL HAVE A MINIMUM OF 3/4" OF SPACE BETWEEN EACH COLOR.
- ALL COLOR CODES SHALL BE INSTALLED SO AS TO ALIGN NEATLY WITH ONE ANOTHER FROM SIDE-TO-SIDE.
- IF EXISTING CABLES AT THE SITE ALREADY HAVE A COLOR CODING SCHEME AND THEY ARE NOT INTENDED TO BE REUSED OR SHARED WITH THE NEW TECHNOLOGY, THE EXISTING COLOR CODING SCHEME SHALL REMAIN UNTOUCHED.

ANTENNA AND CABLING INFORMATION

2



CABLE COLOR CODING DIAGRAM

1



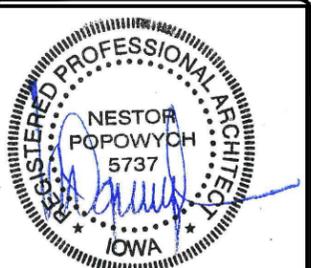
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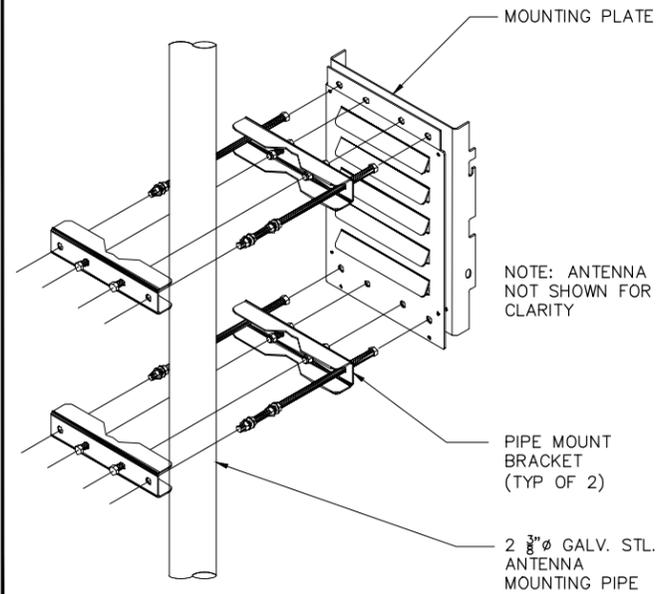


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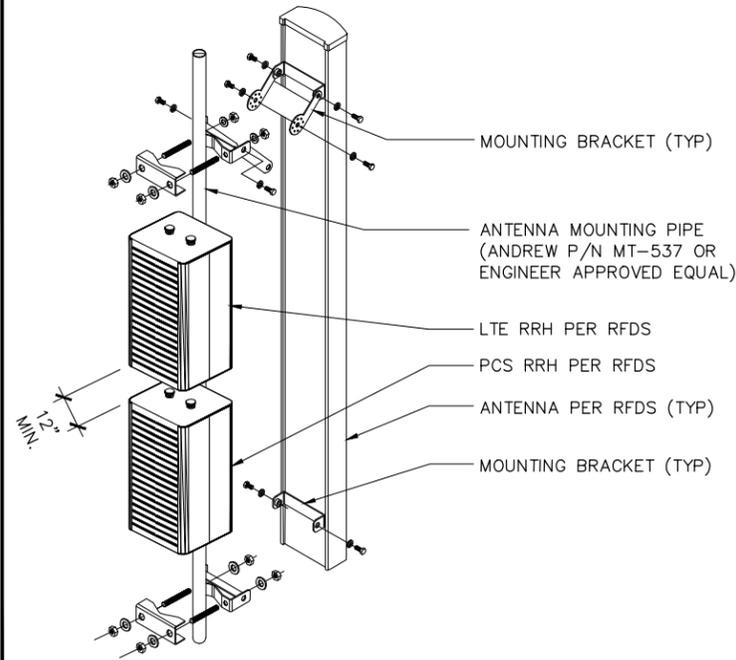
SHEET TITLE ANTENNA SCHEDULE & COLOR CODING

SHEET NUMBER
A4



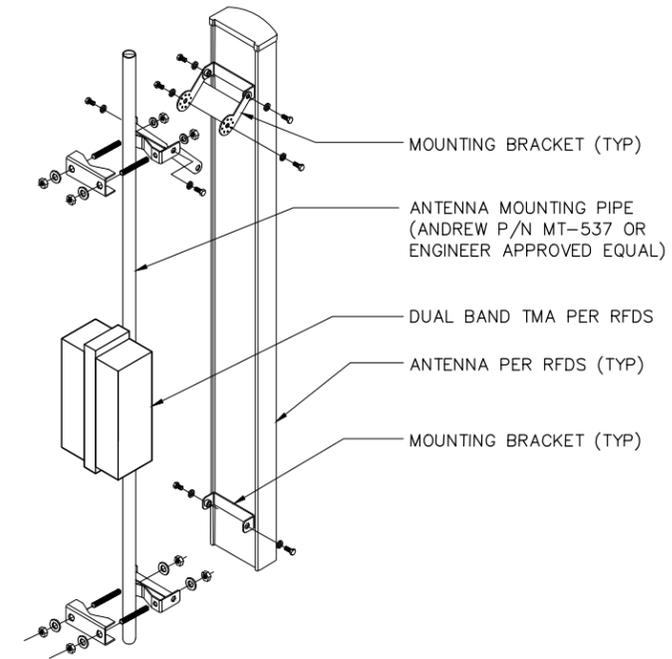
RRH MOUNTING PLATE DETAIL
NO SCALE

6



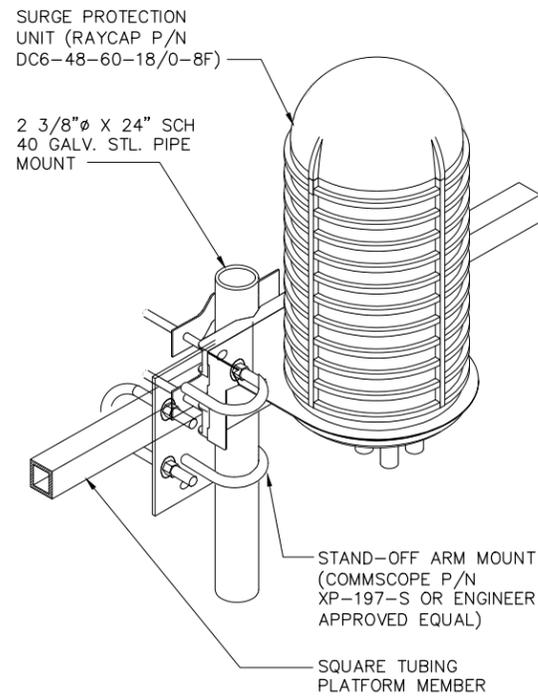
ANTENNA AND RRH MOUNTING DETAIL
NO SCALE

5



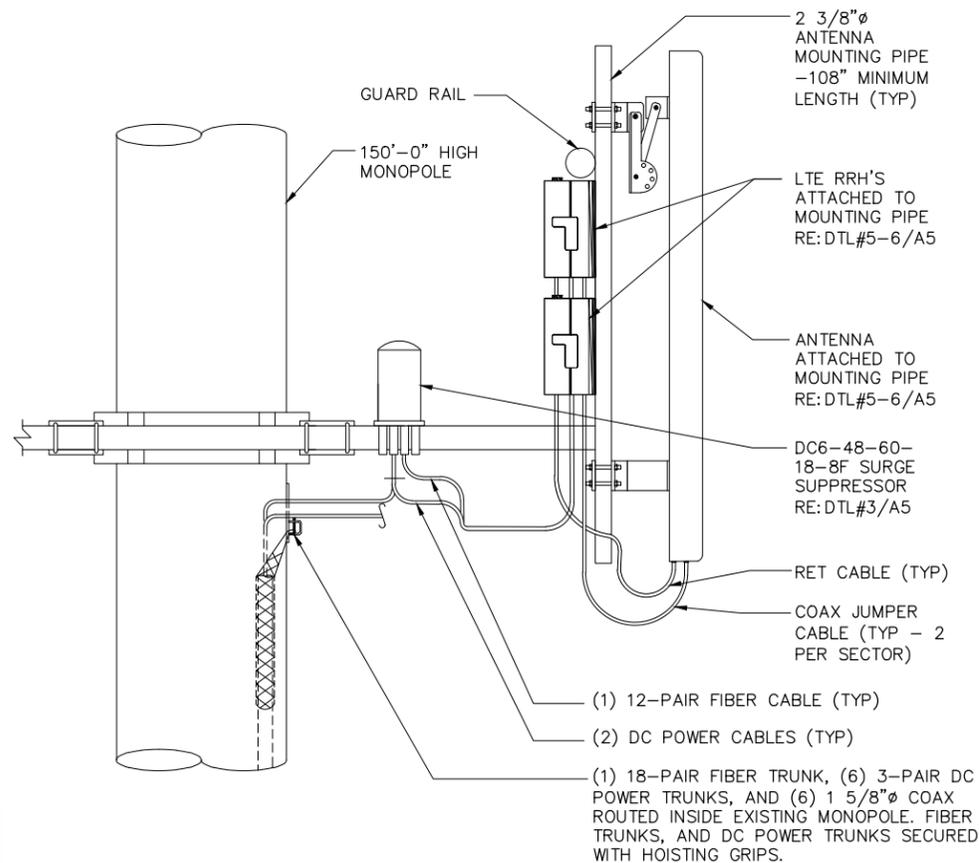
ANTENNA AND TMA MOUNTING DETAIL

4



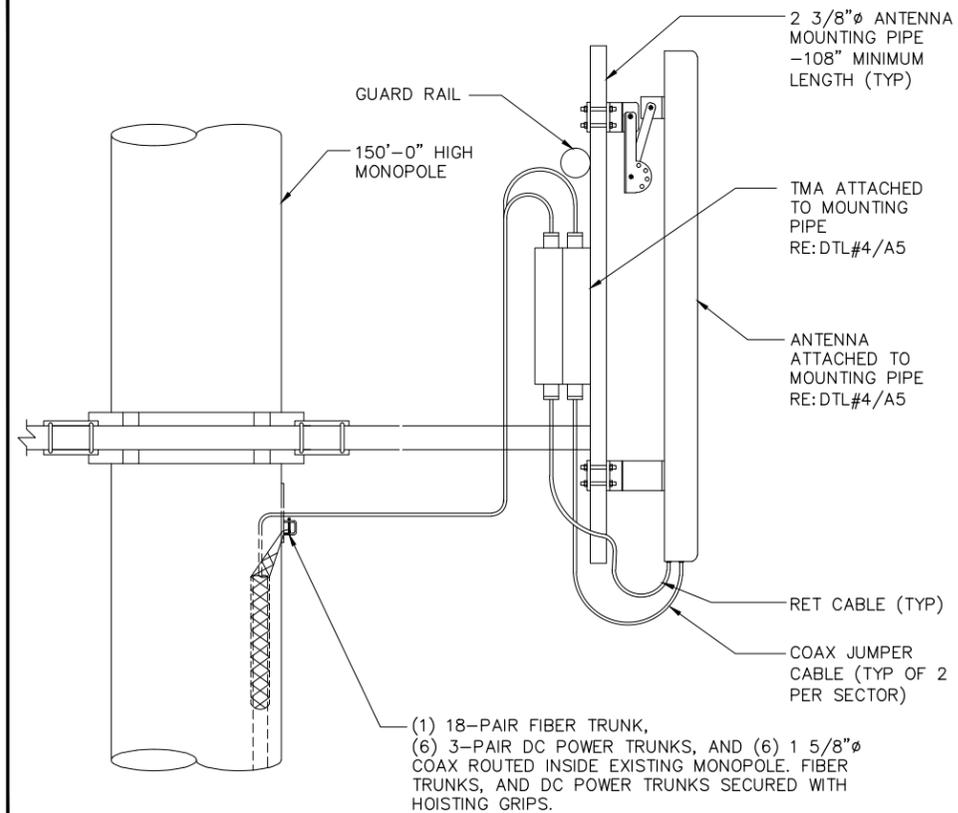
DC SS MOUNTING DETAIL
NO SCALE

3



LTE ANTENNA MOUNT DETAIL (POS #1 - TYP EACH SECTOR)

2



UMTS ANTENNA MOUNT DETAIL (POS #2 - TYP EACH SECTOR)

1



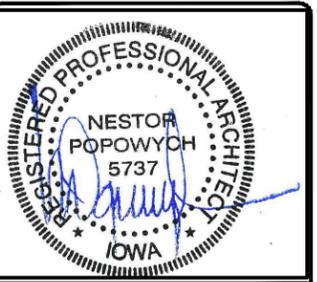
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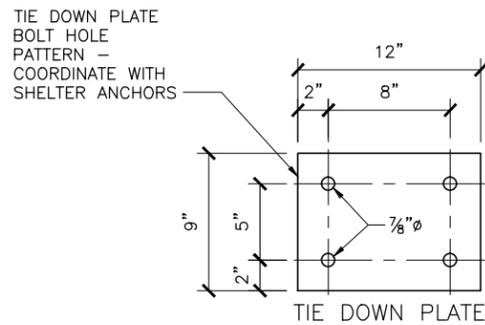
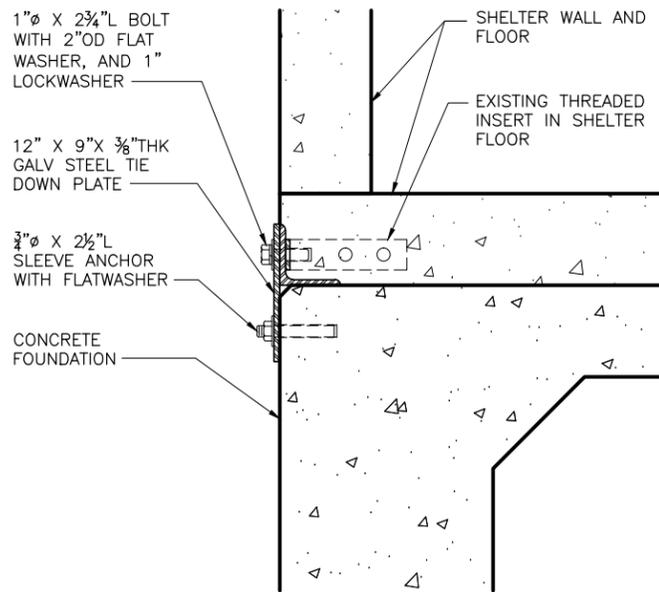


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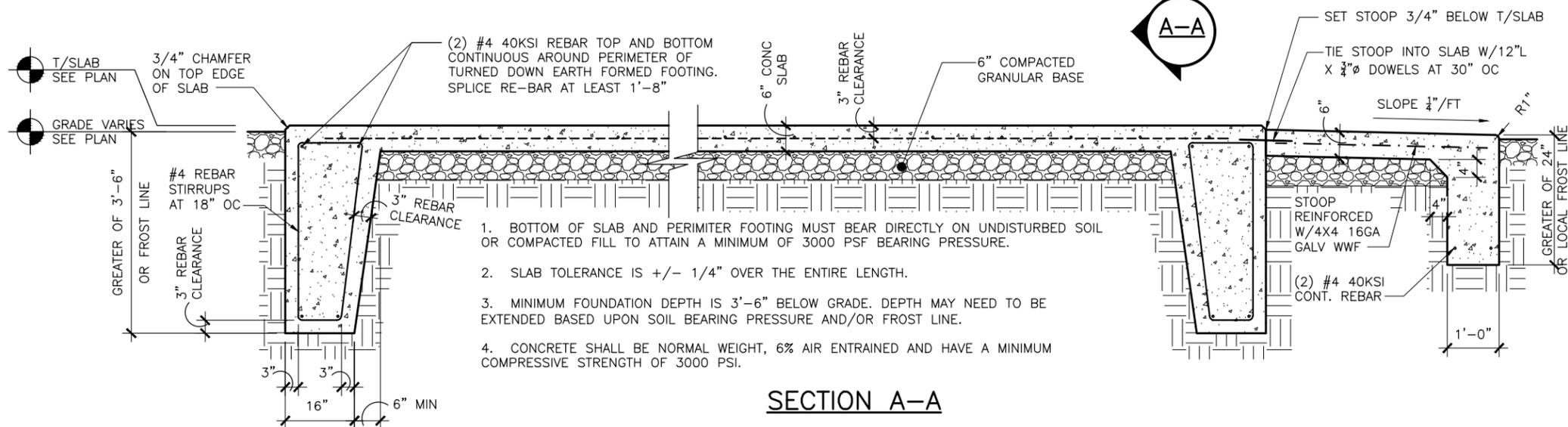
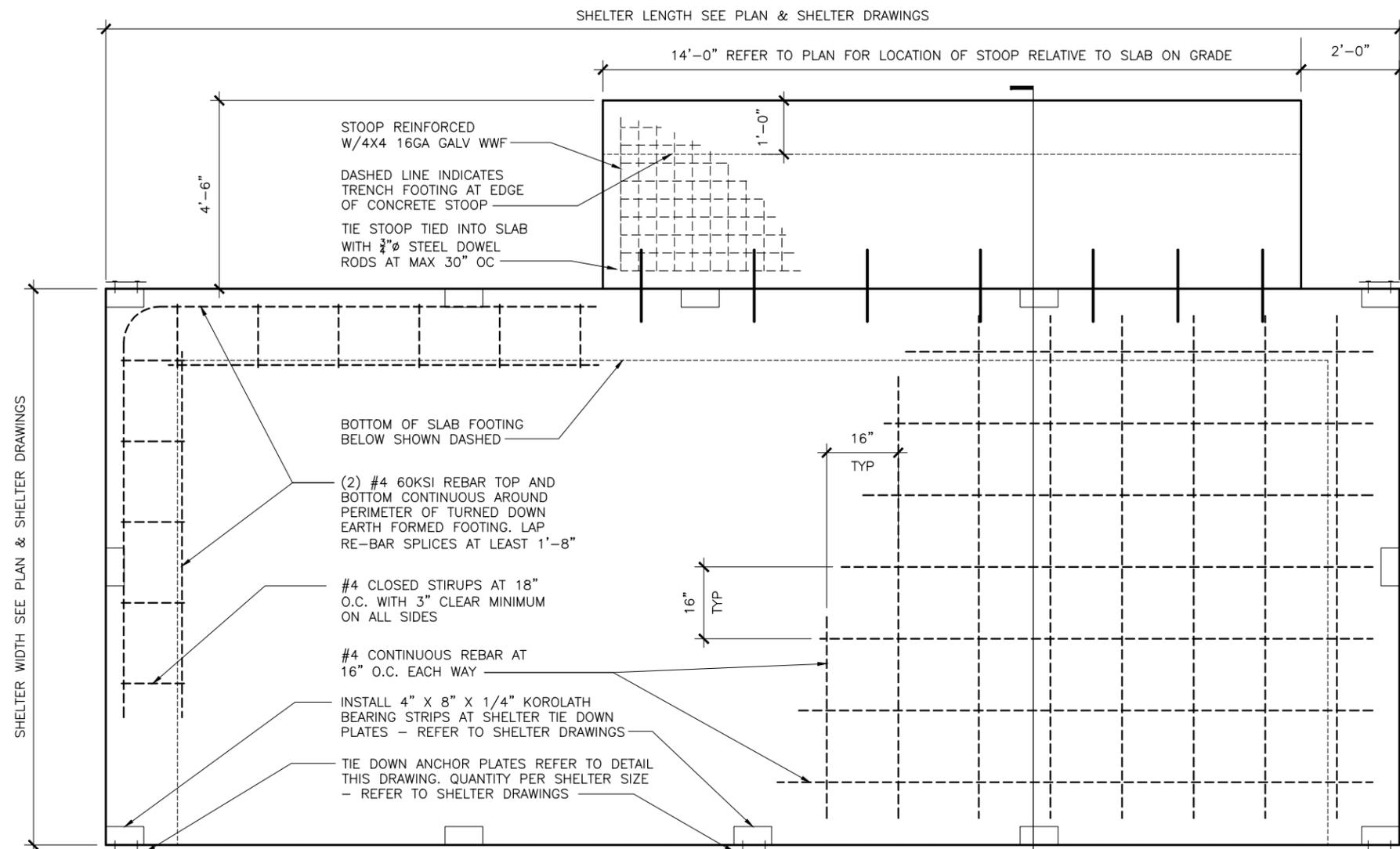
DESMIAU5313
ROOSEVELT MIDDLE SCHOOL
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CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
**ANTENNA, RRH,
SS, MOUNTING
DETAILS**

SHEET NUMBER
A5



TIE DOWN DETAIL



SECTION A-A



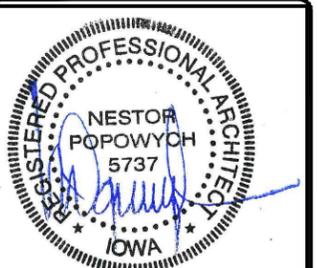
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0	03/25/14	ISSUED FOR CONSTRUCTION
B	03/17/14	90% FOR CONSTRUCTION



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SHEET TITLE
**SHELTER
FOUNDATION
DETAILS**

SHEET NUMBER
A6

SHELTER FOUNDATION DETAILS
SCALE: 3/8" = 1'-0"



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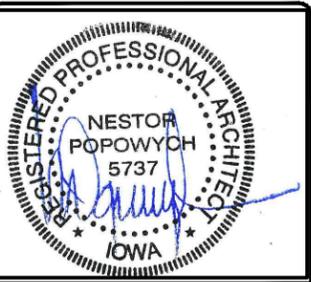


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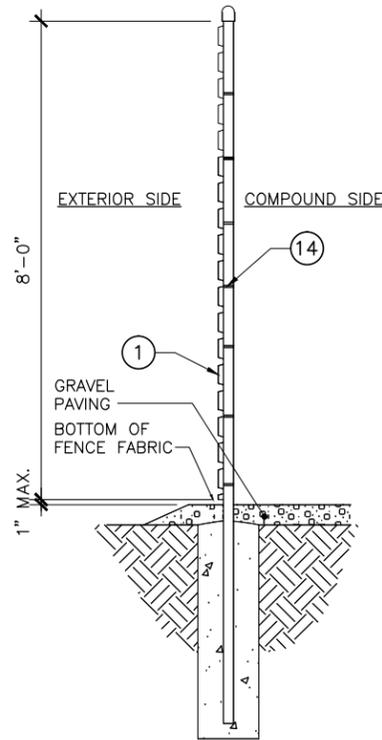
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MONOPOLE

SHEET TITLE
**FENCE DETAILS
& MATERIAL
NOTES**

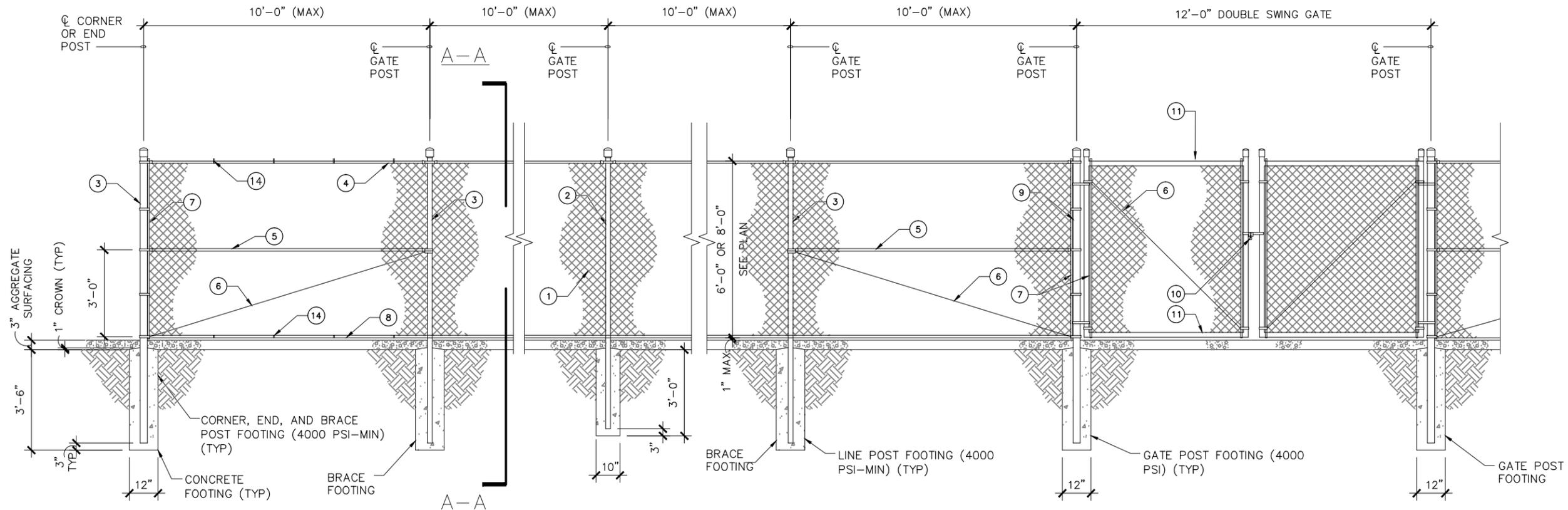
SHEET NUMBER
A7

MATERIAL DESCRIPTION

- ① CHAIN LINK RESIDENTIAL FABRIC: 11-1/2 GAUGE, 2-1/4" MESH; GALVANIZED ASTM-A392, CLASS 2; TWISTED SELVAGE ON TOP, KNUCKLED ON BOTTOM.
- ② LINE POSTS: 2-1/2" O.D. PIPE, 16 GAUGE (GALVANIZED) PER ASTM-F1083.
- ③ CORNER, END AND BRACE POSTS: 2-7/8" O.D. PIPE, SCHEDULE 40 (GALVANIZED).
- ④ TOP RAIL: 1-5/8" O.D. 17 GAUGE PIPE (GALVANIZED) PER ASTM-F1083.
- ⑤ BRACE RAIL: 1-5/8" O.D. 17 GAUGE PIPE (GALVANIZED).
- ⑥ DIAGONAL TRUSS ROD: 3/8" GALVANIZED ROD WITH TURNBUCKLE.
- ⑦ TENSION BAR: 3/16" X 3/4" GALVANIZED FLAT BAR.
- ⑧ BOTTOM TENSION WIRE: GALVANIZED OR ALUMINUM COATED COIL SPRING WIRE, 7 GAUGE.
- ⑨ GATE POSTS: 2-7/8" O.D. SCHEDULE 40 PIPE (GALVANIZED).
- ⑩ COMBINATION PADLOCK ACCORDING TO AT&T REQUIREMENTS.
- ⑪ GATE FRAMES: 1-7/8" O.D. SCHEDULE 40 PIPE (GALVANIZED).
- ⑫ BARBED WIRE SUPPORT ARM: SINGLE ARM TYPE (GALVANIZED). ARM SHALL BE INCLINED OUTWARD AT AN ANGLE OF 45 DEGREES.
- ⑬ BARBED WIRE: GALVANIZED, ASTM A121 CLASS 3; THREE 14 GAUGE MINIMUM STEEL WIRES WITH 4 POINT ROUND 14 GAUGE BARBS SPACED 4" APART.
- ⑭ FABRIC TIES: ALUMINUM BANDS OR WIRES. FABRIC SHALL BE ATTACHED TO THE TOP RAIL AND BOTTOM TENSION WIRE AT 24" CENTERS AND TO THE POSTS AT 15" CENTERS, ALL ON THE COMPOUND SIDE OF THE FENCE.
- ⑮ MISCELLANEOUS:
 - A. RAIL COUPLINGS: SLEEVE TYPE, 6" LONG EXPANSION SPRING EVERY FIFTH COUPLING.
 - B. POST TOPS: PRESSED STEEL, MALLEABLE IRON WITH PRESSED STEEL EXTENSION ARM, OR ONE-PIECE ALUMINUM CASTING; WITH HOLE FOR TOP, ALL DESIGNED TO FIT OVER THE OUTSIDE OF THE POSTS AND TO PREVENT ENTRY OF MOISTURE INTO TUBULAR POSTS.
 - C. LATCHES SHALL BE FORKED TYPE AND SHALL BE ARRANGED FOR PADLOCKING WITH THE PADLOCK ACCESSIBLE FROM BOTH SIDES OF THE GATE.
 - D. KEEPERS SHALL CONSIST OF MECHANICAL DEVICES FOR SECURING AND SUPPORTING THE FREE END OF THE GATES WHEN IN THE FULL OPEN POSITION. KEEPERS SHALL BE MOUNTED ON 2-7/8" O.D. PIPE POSTS FILLED WITH CONCRETE AND SET IN CONCRETE FOUNDATIONS.
 - E. INSTALL FENCING PER ASTM-F567.
 - F. INSTALL SWING GATES PER ASTM-F900.
 - G. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLETED IF REQUIRED.
 - H. USE GALVANIZED HIG-RING WIRE TO MOUNT ALL SIGNS.
 - I. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE.
 - J. ALL POSTS SHALL HAVE "MUSHROOM" SLEEVE EMBEDDED IN CONCRETE.



SECTION A-A



1 CHAIN LINK FENCE DETAILS **1**
SCALE: 3/8" = 1'-0"



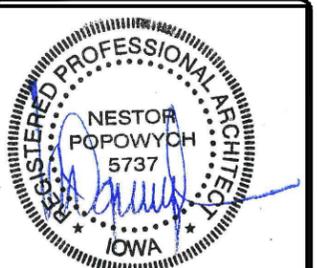
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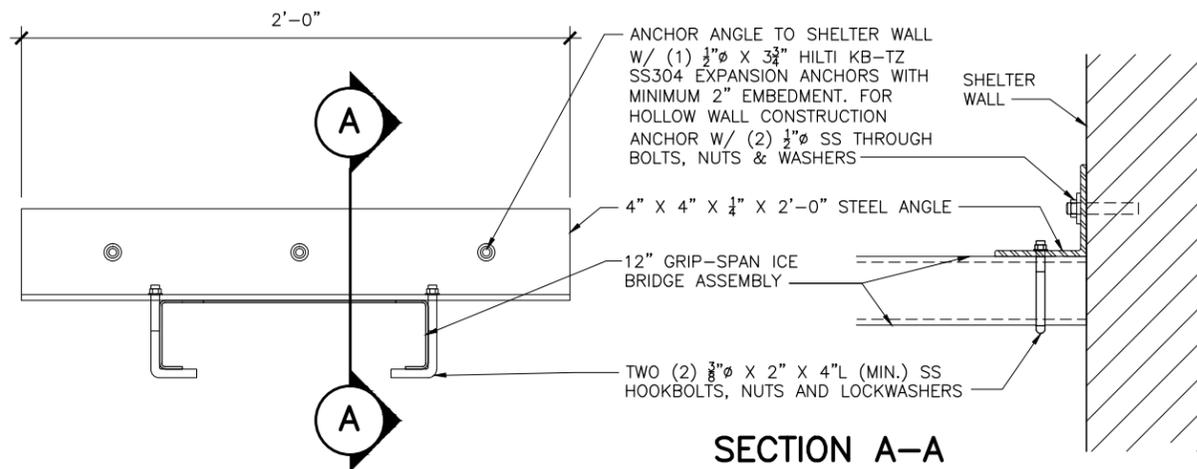


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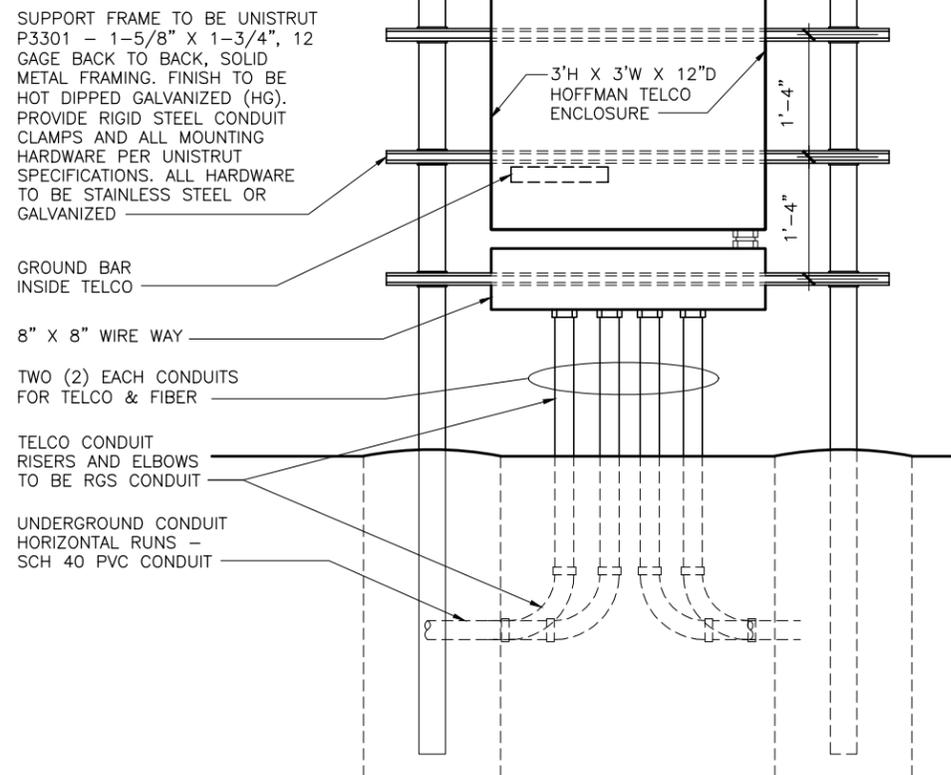
SHEET TITLE
SITE DETAILS

SHEET NUMBER
A8



ICE/CABLE BRIDGE SHELTER ATTACHMENT DETAIL
SCALE: SCALE: 1 1/2"=1'-0"

2



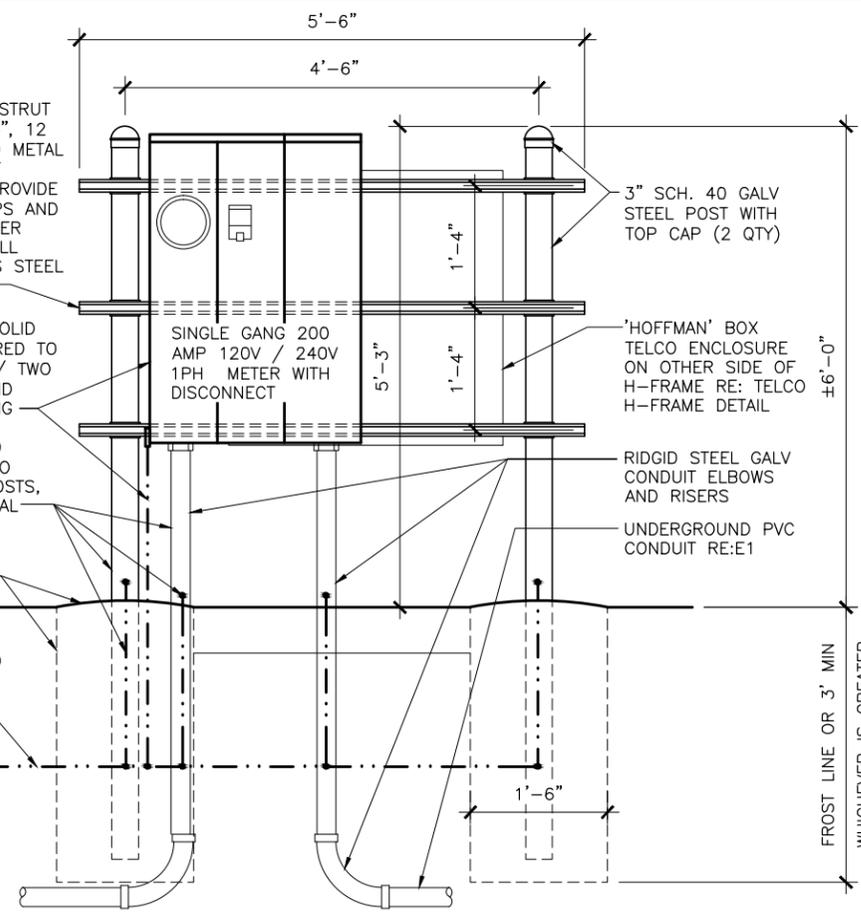
SUPPORT FRAME TO BE UNISTRUT P3301 - 1-5/8" X 1-3/4", 12 GAGE BACK TO BACK, SOLID METAL FRAMING. FINISH TO BE HOT DIPPED GALVANIZED (HG). PROVIDE RIGID STEEL CONDUIT CLAMPS AND ALL MOUNTING HARDWARE PER UNISTRUT SPECIFICATIONS. ALL HARDWARE TO BE STAINLESS STEEL OR GALVANIZED

#2 TINNED BARE COPPER SOLID WIRE MECHANICALLY ANCHORED TO ALL UTILITY ENCLOSURES W/ TWO HOLE COMPRESSION LUG AND CADWELDED TO GROUND RING

#2 AWG BARE TINNED SOLID COPPER WIRE CADWELDED TO CONDUITS RISERS, STEEL POSTS, AND GROUND RING - TYPICAL

2500 PSI MIN CONCRETE PIPE FOUNDATION. DOME TOP FOR DRAINAGE

SHELTER GROUND RING OR #2 AWG BARE TINNED SOLID COPPER WIRE FROM H-FRAME CADWELDED TO SHELTER GROUND RING



H-FRAME DETAIL
SCALE: 1/2"=1'-0"

1



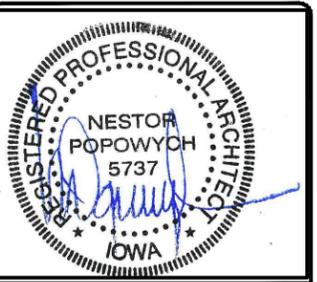
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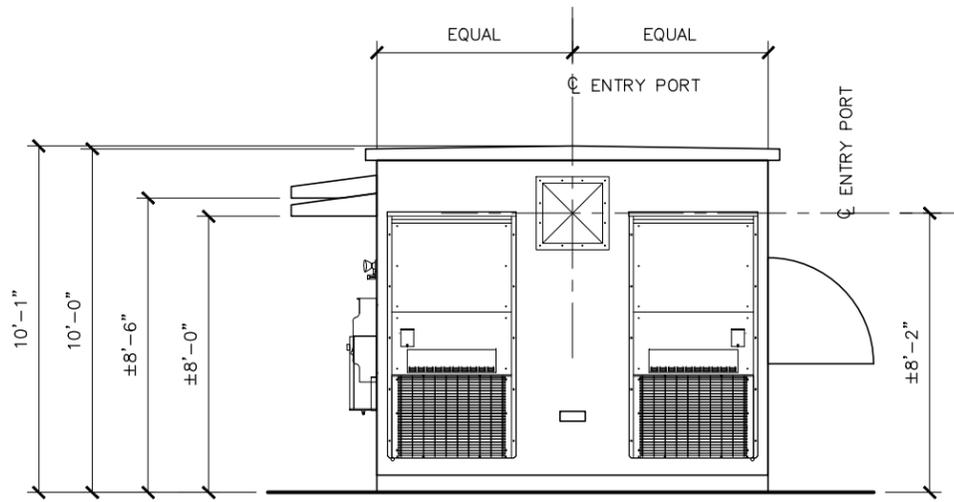


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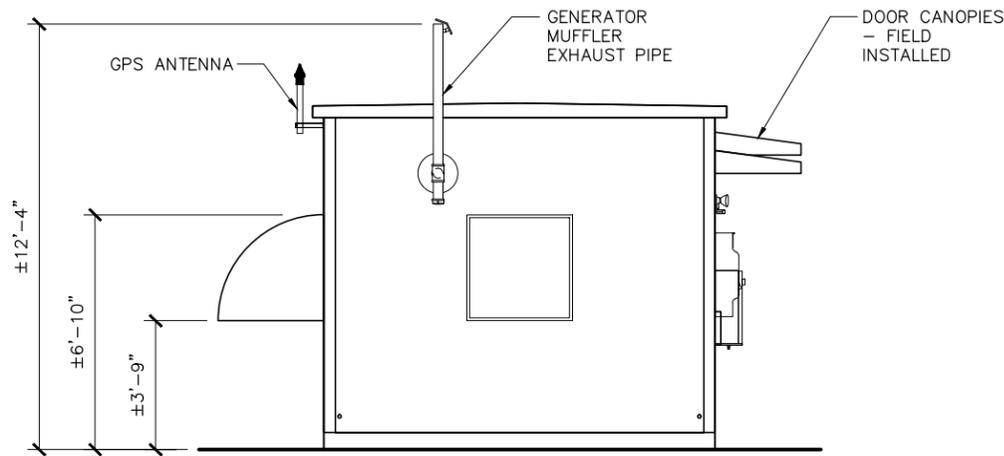
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SHEET TITLE
SHELTER PLAN AND ELEVATIONS

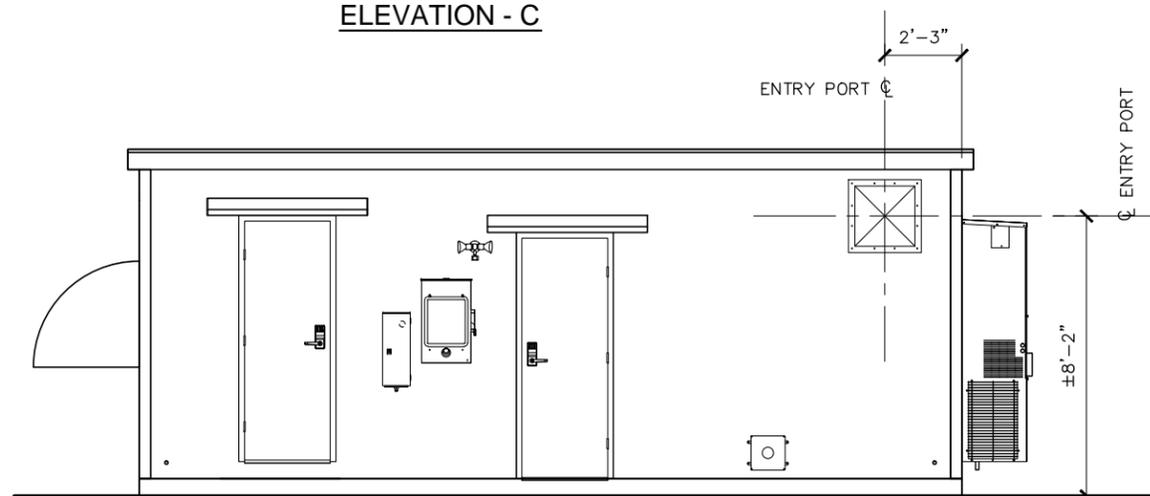
SHEET NUMBER
A9



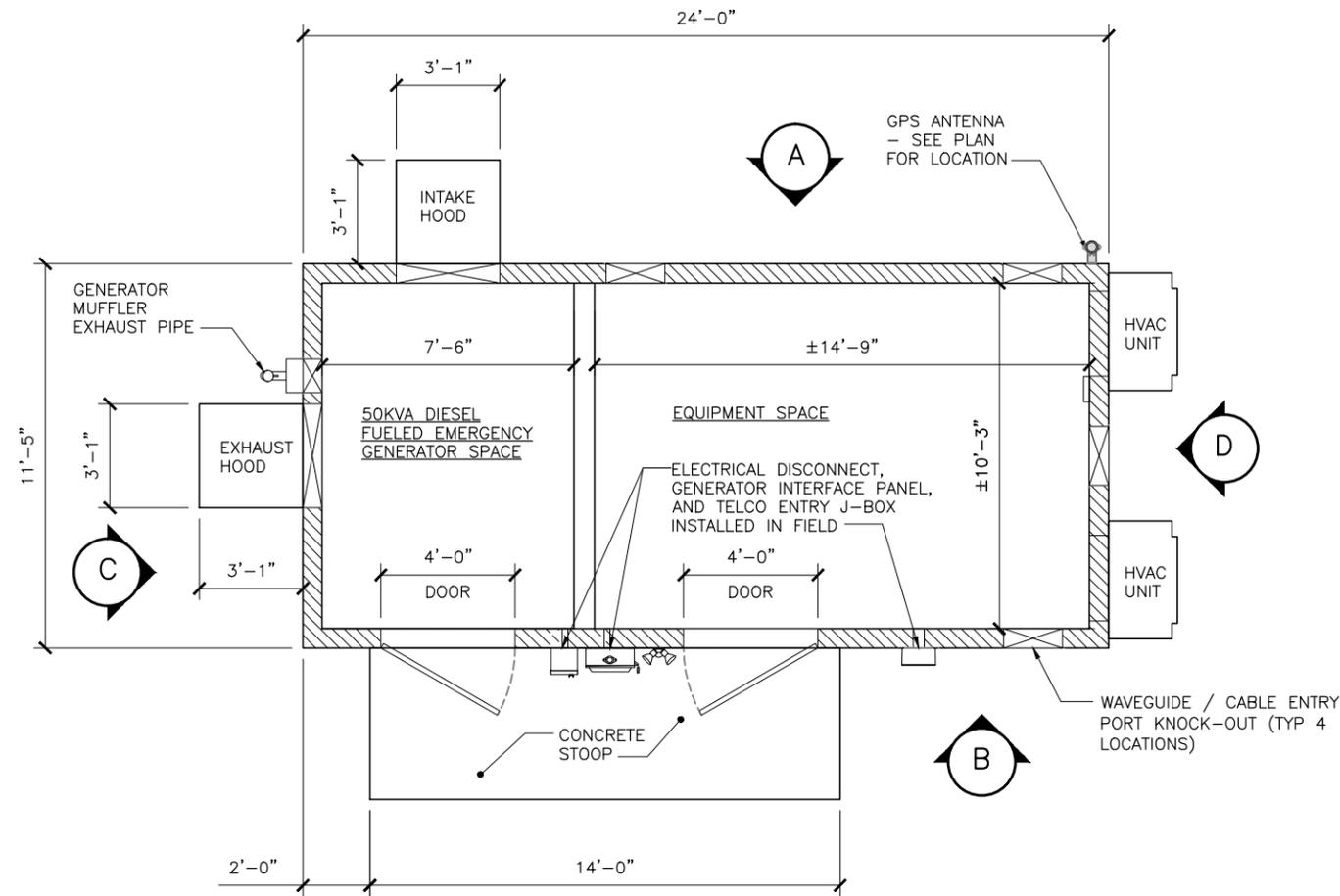
ELEVATION - D



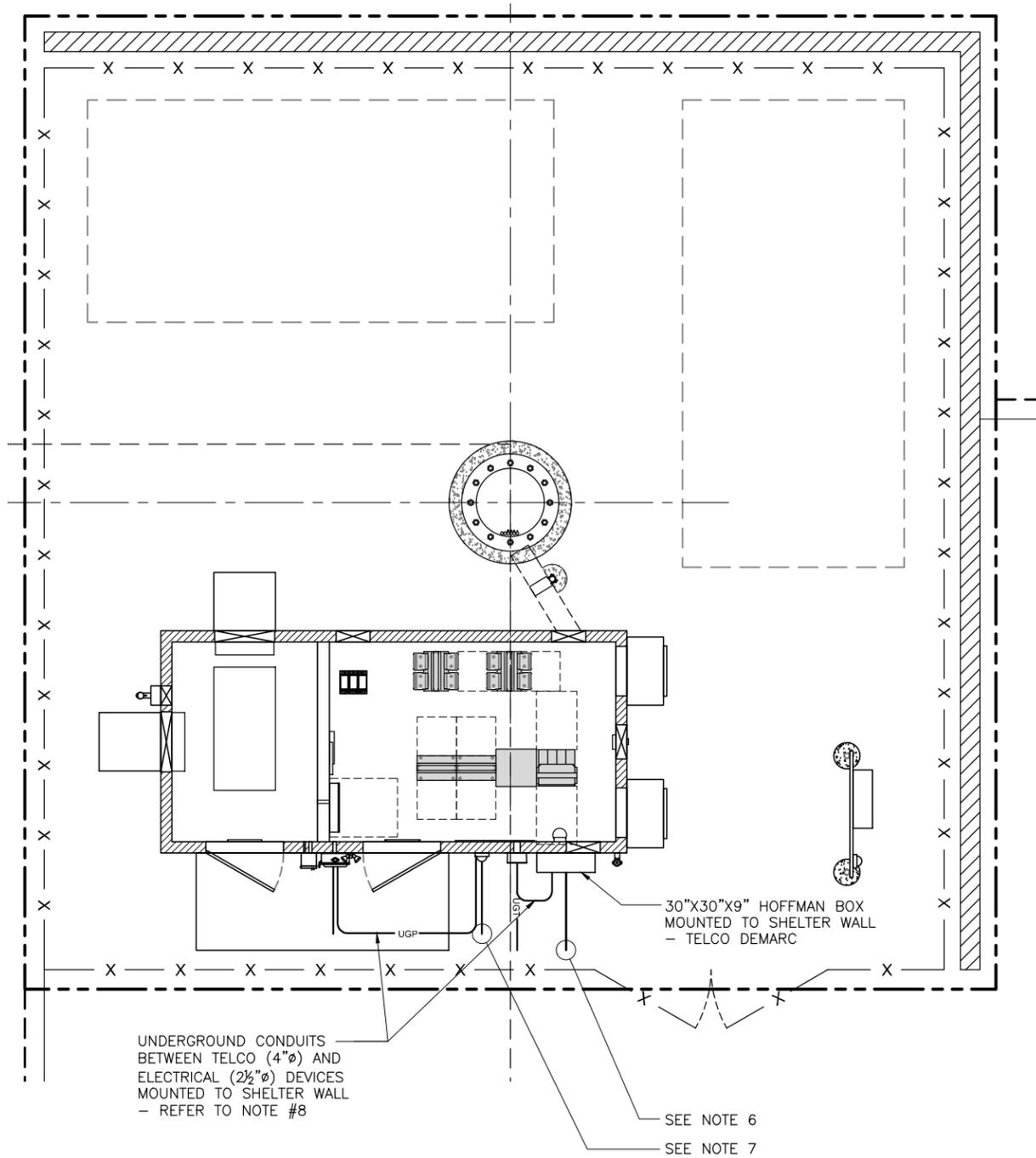
ELEVATION - C



ELEVATION - B



ELEVATION - A



UNDERGROUND CONDUITS BETWEEN TELCO (4"Ø) AND ELECTRICAL (2½"Ø) DEVICES MOUNTED TO SHELTER WALL - REFER TO NOTE #8

SEE NOTE 6
SEE NOTE 7

30"X30"X9" HOFFMAN BOX MOUNTED TO SHELTER WALL - TELCO DEMARC



1. THE CONDUIT ROUTING IS DIAGRAMMATICALLY SHOWN ON THE PLANS AND ARE ONLY APPROXIMATIONS. THE EXACT LOCATION AND ROUTING SHALL BE FIELD VERIFIED.
2. ALL ELECTRICAL EQUIPMENT AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED LAMICOID NAMEPLATES, INDICATING THE CIRCUITS ORIGATION AND ALL EQUIPMENT TERMINATIONS.
3. CONTRACTOR SHALL PROVIDE STRAIN-RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES, COAX CABLES, AND RET CONTROL CABLES. CABLE STRAIN-RELIEFS, CABLE SUPPORTS SHALL BE APPROVED FOR THE PURPOSE. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
4. CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS, HAND HOLES AND CIRCUIT CONDUCTORS, AS REQUIRED FOR A COMPLETED SYSTEM AND SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE 2011 NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION, WHICHEVER IS THE MOST STRINGENT.
6. PROPOSED POWER IN PROPOSED 2 1/2" SCH 40 PVC CONDUIT, CONTRACTOR TO COORDINATE CONNECTION WITH LOCAL UTILITY COMPANY. CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED PER NEC ARTICLE 314. (FIELD VERIFY LOCATION)
7. PROPOSED TELCO WITH 25 PAIR ICKY-PICK CAT 5 CONDUCTOR IN PROPOSED 4" SCH 40 PVC CONDUIT, CONTRACTOR TO COORDINATE CONNECTION WITH LOCAL TELEPHONE COMPANY. CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED PER NEC ARTICLE 314.
8. ANY CONDUIT EXTRUDING FROM THE GROUND IS TO CHANGE CONDUIT TO RMC AT VERTICAL CONNECTION POINT TO TERMINATION (FIELD VERIFY LOCATION)

OVERHEAD POWER ——— OHP ——— OHP ———
 UNDERGROUND POWER ——— UGP ——— UGP ———
 OVERHEAD UTILITIES ——— OHU ——— OHU ———
 UNDERGROUND TELCO ——— UGT ——— UGT ———
 UNDERGROUND POWER AND TELCO ——— UGP/UGT ———
 ABOVE GROUND POWER (PROPOSED DC POWER CABLE) ——— AGP ———
 ABOVE GROUND TELCO (PROPOSED FIBER OPTIC CABLE) ——— AGT ———



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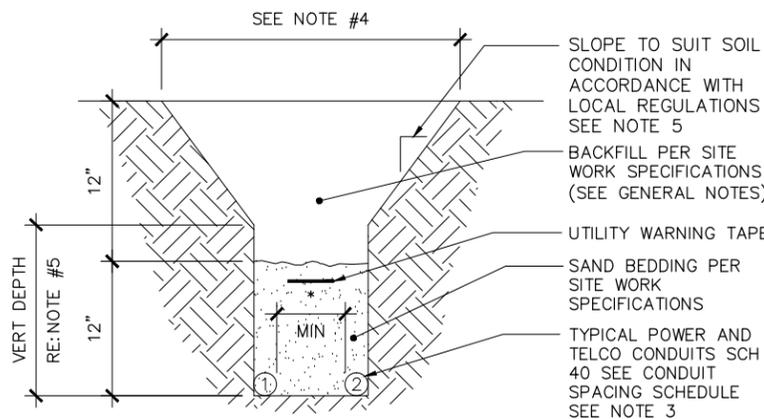


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SHEET TITLE
**COMPOUND
ELECTRIC PLAN**

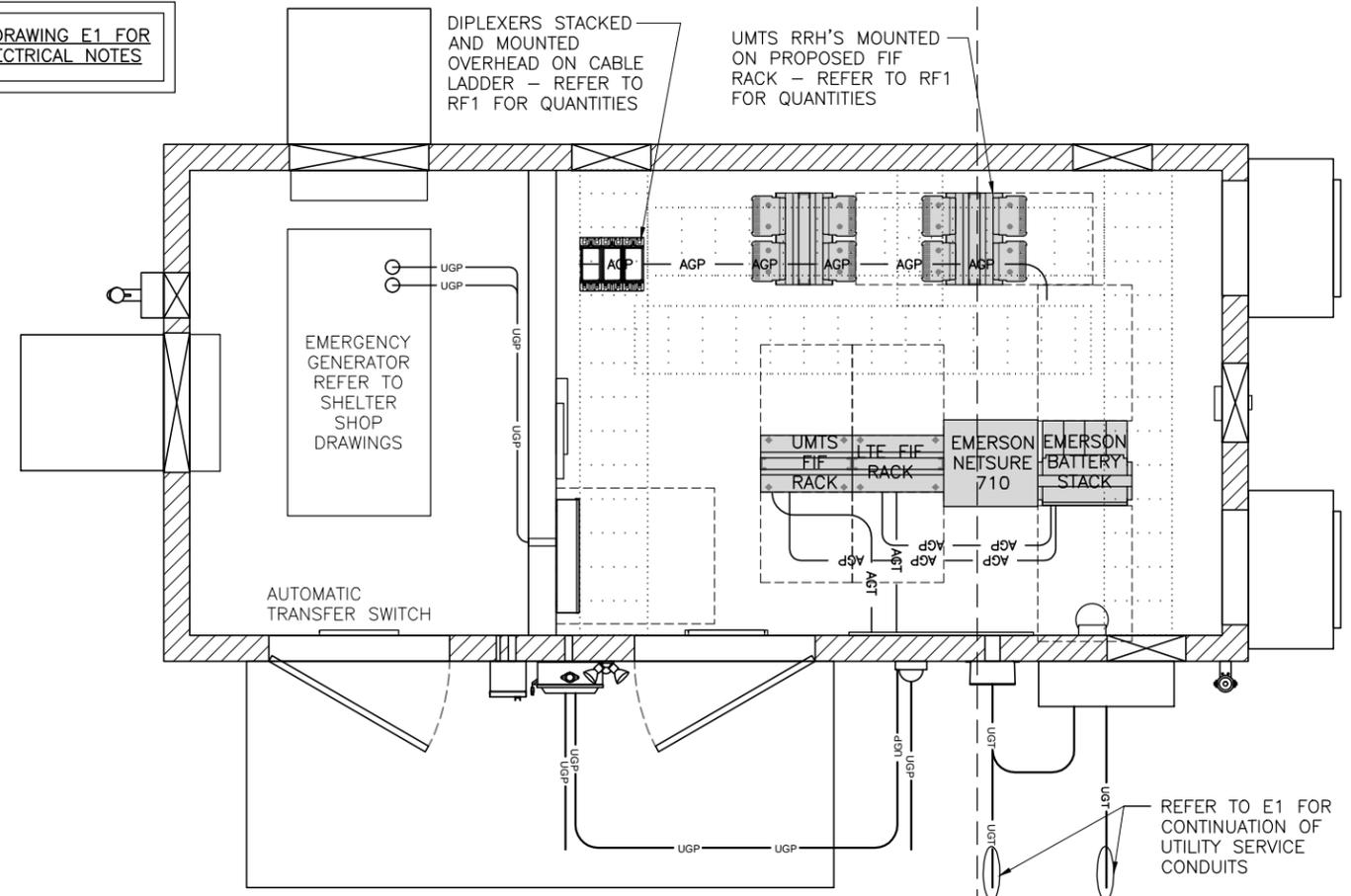
SHEET NUMBER
E1



CONDUIT SPACING SCHEDULE		
CONDUIT #1	MINIMUM CONDUIT SEPARATION	CONDUIT #2
POWER	* = 6 INCHES	POWER
POWER	* = 12 INCHES	TELCO, COMMUNICATIONS & CONTROL CIRCUITS
TELCO, COMMUNICATIONS & CONTROL CIRCUITS	* = 6 INCHES	TELCO, COMMUNICATIONS & CONTROL CIRCUITS

ELECTRICAL TRENCH DETAIL
NO SCALE **2**

REFER TO DRAWING E1 FOR TYPICAL ELECTRICAL NOTES



EQUIPMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0" **1**

LEGEND

- OVERHEAD POWER ——— OHP ——— OHP ——— OHP ——— OHP ———
- UNDERGROUND POWER ——— UGP ——— UGP ——— UGP ——— UGP ———
- OVERHEAD UTILITIES ——— OHU ——— OHU ——— OHU ——— OHU ———
- UNDERGROUND TELCO ——— UGT ——— UGT ——— UGT ——— UGT ———
- UNDERGROUND POWER AND TELCO ——— UGP/UGT ——— UGP/UGT ——— UGP/UGT ———
- ABOVE GROUND POWER (PROPOSED DC POWER CABLE) ——— AGP ——— AGP ——— AGP ——— AGP ———
- ABOVE GROUND TELCO (PROPOSED FIBER OPTIC CABLE) ——— AGT ——— AGT ——— AGT ——— AGT ———

- ALL UNDERGROUND CONDUITS SHALL BE SCH 40 PVC. EXCEPT THAT ELBOWS AND RISERS SHALL BE RMC ALL UNDERGROUND ELBOWS SHALL BE SWEEPING BENDS. 2'-0" MINIMUM SHALL BE REQUIRED.
- THE TELEPHONE SERVICE CABLES SHOULD BE INSTALLED IN RIGID METAL CONDUIT, (10'-0") TEN FEET IN LENGTH BEFORE ENTERING A SHELTER OR BUILDING PER AT&T STANDARD ATT-TP 26416.
- TWO CONDUITS ARE SHOWN IN DETAIL 2, ALTHOUGH MULTIPLE CONDUITS CAN BE PLACED IN THE SAME TRENCH. A MINIMUM SEPARATION IS REQUIRED PER THE LOCAL JURISDICTIONS AND UTILITY COMPANIES. IN ALL OTHER CASES, USE THE CONDUIT SPACING SCHEDULE TO MAINTAIN MINIMUM SPACING BETWEEN THE EXTERIOR WALL TO EXTERIOR WALL SEPARATION OF CONDUITS.
- CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR CONCRETE AREAS TO ITS ORIGINAL CROSS SECTION.
- TRENCHING SAFETY; INCLUDING, BUT NOT LIMITED TO SOIL CLASSIFICATION, SLOPING, AND SHORING, SHALL BE GOVERNED BY THE CURRENT OSHA TRENCHING AND EXCAVATION SAFETY STANDARDS.
- ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION.

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SHEET TITLE
**EQUIPMENT
ELECTRIC PLAN
AND DETAILS**

SHEET NUMBER
E2

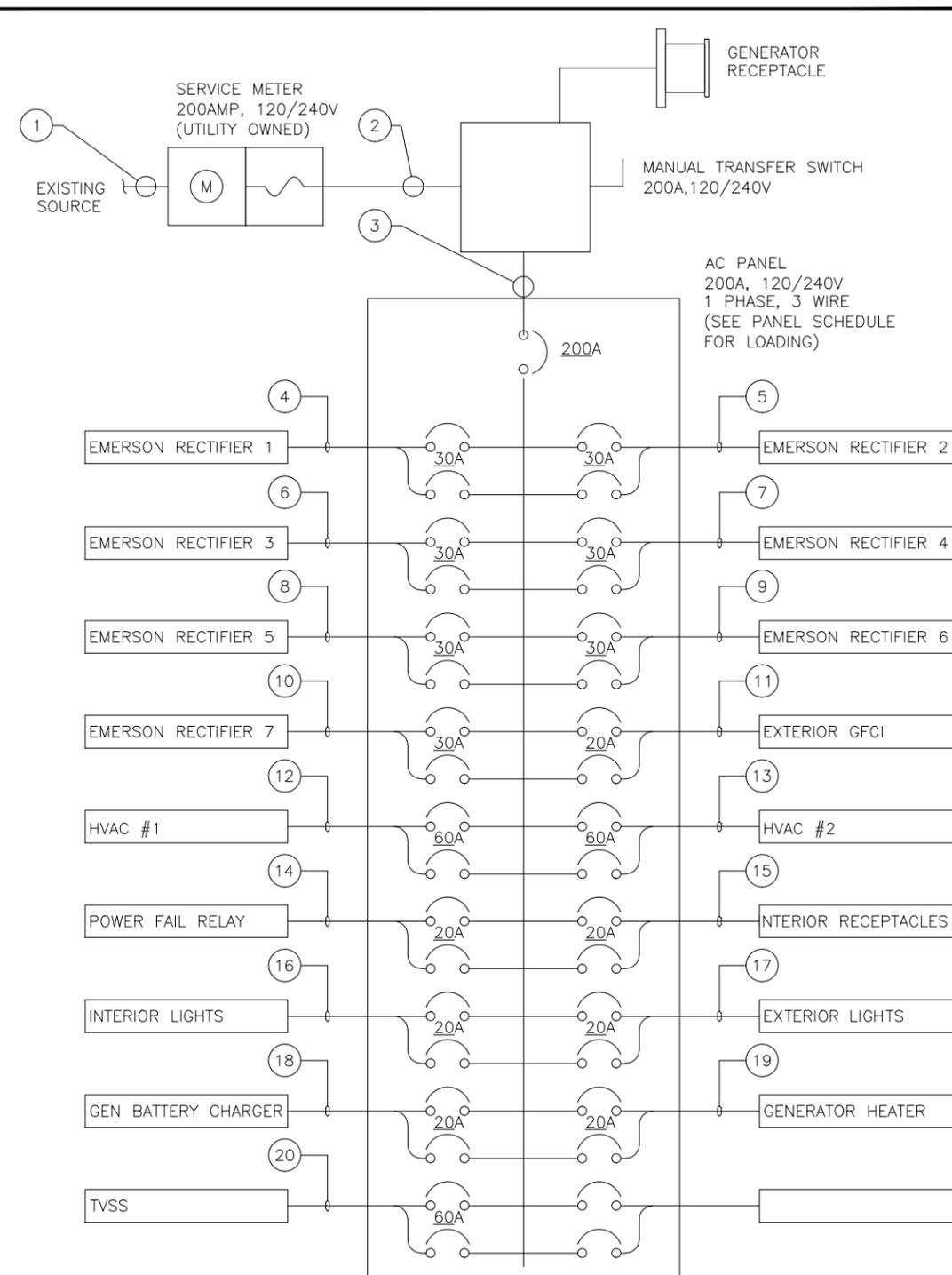
NO	FROM	TO	CONFIGURATION
1	TRANSFORMER	UTILITY METER	(3) 3/0, (1) #4 AWG GND
2	SERVICE DISCONNECT	TRANSFER SWITCH	(3) 3/0, (1) #4 AWG GND
3	TRANSFER SWITCH	AC LOAD CENTER	(3) 3/0, (1) #4 AWG GND
4	AC LOAD CENTER	EMERSON RECTIFIER #1	(2) #10, (1) #10 AWG GND
5	AC LOAD CENTER	EMERSON RECTIFIER #2	(2) #10, (1) #10 AWG GND
6	AC LOAD CENTER	EMERSON RECTIFIER #3	(2) #10, (1) #10 AWG GND
7	AC LOAD CENTER	EMERSON RECTIFIER #4	(2) #10, (1) #10 AWG GND
8	AC LOAD CENTER	EMERSON RECTIFIER #5	(2) #10, (1) #10 AWG GND
9	AC LOAD CENTER	EMERSON RECTIFIER #6	(2) #10, (1) #10 AWG GND
10	AC LOAD CENTER	EMERSON RECTIFIER #7	(2) #10, (1) #10 AWG GND
11	AC LOAD CENTER	EXTERIOR GFCI	(1) #12 BLK, (1) #12 WHT, (1) #12 GND
12	AC LOAD CENTER	HVAC #1	(1) #6 THHN/THWN, (1) #10 AWG GND
13	AC LOAD CENTER	HVAC #2	(1) #6 THHN/THWN, (1) #10 AWG GND
14	AC LOAD CENTER	POWER FAIL RELAY	(2) #12 THHN/THWN, (1) #12 NUET, (1) #12 AWG GND
15	AC LOAD CENTER	INTERIOR RECEPTACLES	(1) #12 BLK, (1) #12 WHT, (1) #12 AWG GND
16	AC LOAD CENTER	INTERIOR LIGHTS	(1) #12 BLK, (1) #12 WHT, (1) #12 AWG GND
17	AC LOAD CENTER	EXTERIOR LIGHTS	(1) #12 BLK, (1) #12 WHT, (1) #12 AWG GND

NO	FROM	TO	CONFIGURATION
18	AC LOAD CENTER	GEN BATTERY CHARGER	(1) #12 BLK, (1) #12 WHT, (1) #12 AWG GND
19	AC LOAD CENTER	GENERATOR HEATER	(1) #12 BLK, (1) #12 WHT, (1) #12 AWG GND
20	AC LOAD CENTER	TVSS	(2) #6 BLK, (1) #6 WHT, (1) #10 AWG GND

- CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
- LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
- CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
- CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
- CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATION EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
- INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
- ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
- PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.
- DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTOR WIRING. RED MARKINGS SHALL IDENTIFY +24V. BLUE MARKINGS SHALL IDENTIFY -48V. REFER TO ATT-002-290-701.
- DC POWER WIRING SIZE 14 AWG TO 10 AWG SHALL BE TELCOFLEX III. DC POWER WIRING 8 AWG AND LARGER SHALL BE TELCOFLEX IV. REFER TO ATT-002-290-701.
- LTE POWER WIRING SHALL BE ACCORDANCE WITH ATT-002-290-531.

ELECTRICAL SCHEDULE AND NOTES
NO SCALE

2



REFERENCE SHELTER SHOP DRAWINGS FOR PANEL LOAD CENTER SCHEDULE.

ELECTRICAL SINGLE LINE DIAGRAM
NO SCALE

1



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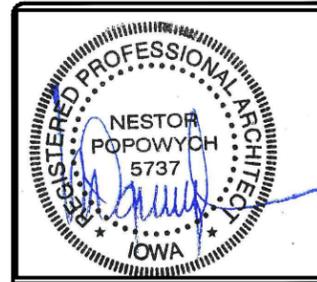


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847-944-1600

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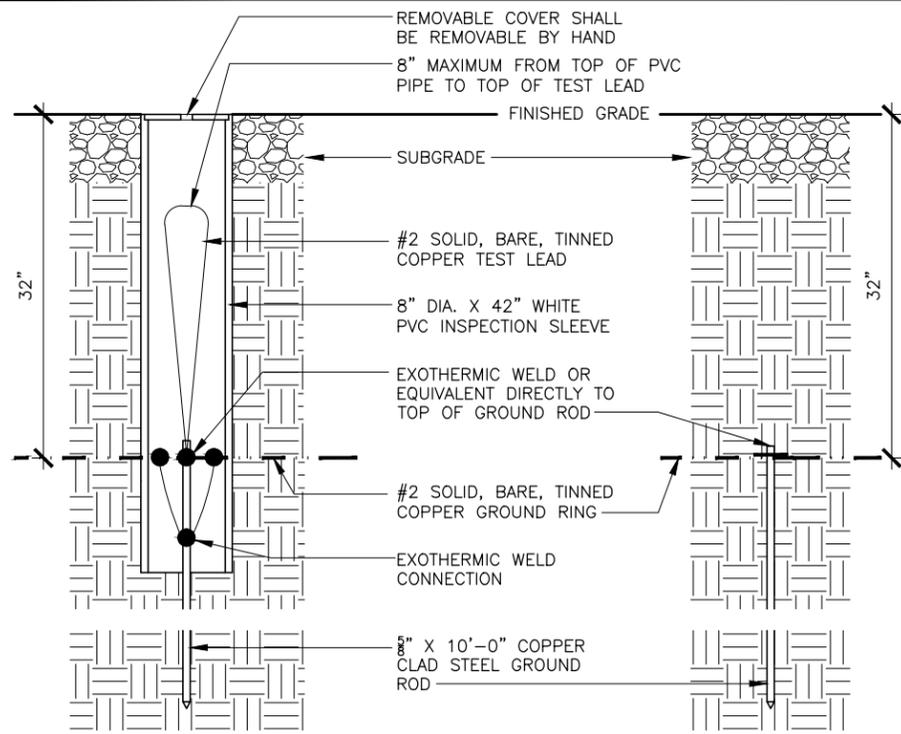
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ROOSEVELT MIDDLE SCHOOL
1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
**ELECTRIC SLD
AND PANEL
SCHEDULE**

SHEET NUMBER

E3



GROUND WELL, ROD, AND TEST WELL DETAIL

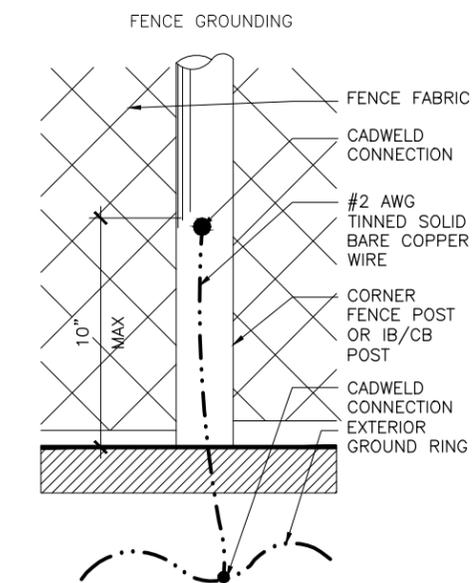
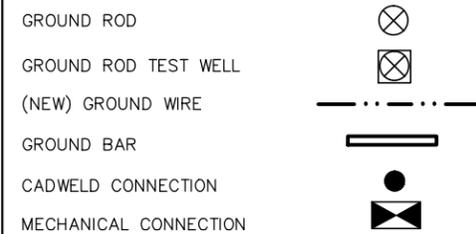
SCALE: 3/4" = 1'-0"

2

GROUNDING SYMBOL LEGEND:

- ① INTERIOR GROUND SYSTEM BY EQUIPMENT SHELTER MANUFACTURER. GROUND CONNECTIONS INSIDE SHELTER ARE BY OTHERS.
- ② 200 AMP MAIN SERVICE DISCONNECT BY EQUIPMENT SHELTER MANUFACTURER. GROUND ENCLOSURE TO GROUND RING. PROVIDE SERVICE GROUND PER NEC
- ③ #2 AWG SOLID BARE TINNED COPPER GROUND RING/WIRE BURIED MIN. 2'-6" BELOW GRADE OR AT FROST LINE WHICHEVER IS GREATER.
- ④ 5/8" DIAMETER X 10'-0" COPPER GROUND ROD INSTALLED EVERY 10'-0" AND CADWELDED TO GROUND RING. RE:DTL#2/E4
- ⑤ 5/8" DIAMETER X 10'-0" COPPER GROUND ROD WITH TEST WELL LOCATED AT ALL 4 CORNERS OF GROUND RING. RE:DTL#2/E4
- ⑥ TIE NEW SHELTER GROUND RING INTO EXISTING TOWER GROUND RING IN TWO PLACES WITH #2 AWG SOLID BARE TINNED COPPER GROUND CONDUCTORS
- ⑦ #2 AWG SOLID BARE TINNED COPPER GROUND WIRE FROM AIR CONDITIONING UNITS TO GROUND RING. CONNECT TO A/C FRAME WITH (2) HOLE LUG.
- ⑧ EXISTING TOWER AND TOWER (GUYED, MONOPOLE, SST, TVA, ETC.) GROUND RING.
- ⑨ #6AWG THHN WIRE CADWELDED TO TOP OF EACH ICE BRIDGE POST WITH MECH CONNECTION TO GRIP STRUT, JUMPER EACH SECTION WITH SAME. #2 AWG SOLID BARE TINNED COPPER GROUND CONDUCTOR FROM BOTTOM OF EACH SUPPORT POST TO THE BURIED RING RE:DTL#3/E4 (SIMILAR)
- ⑩ #2 AWG SOLID BARE TINNED COPPER GROUND WIRE FROM TELCO BOX (HOFFMAN AND JUNCTION) MOUNTED ON SHELTER WALL TO GROUND RING.
- ⑪ SHELTER EXTERIOR GROUND BAR WITH (2) TWO #2 AWG SOLID BARE TINNED COPPER GROUND WIRES CADWELDED TO EXTERIOR GROUND RING.
- ⑫ SHELTER INTERIOR MASTER GROUND BAR AND DOWNLEAD COILED INSIDE SHELTER IS THE ONLY INTERIOR GROUND BAR TO BE BONDED TO THE EXTERNAL GROUND RING.
- ⑬ #2 AWG SOLID BARE TINNED COPPER GROUND WIRE CADWELDED TO EQUIPMENT SHELTER ANCHOR TIE DOWN PLATES AND CADWELDED TO BURIED GROUND RING. REFER TO SHELTER FABRICATION DRAWINGS FOR LOCATIONS AND NUMBER OF CONNECTIONS.
- ⑭ EXISTING #2 AWG SOLID BARE TINNED COPPER GROUND WIRE COILED INSIDE SHELTER. ROUTE THROUGH PRECAST SHELTER WALL AND CADWELD TO BURIED GROUND RING. TYPICAL AT (6) SIX LOCATIONS.
- ⑮ GROUND BAR AT BASE OF TOWER WITH TWO (2) #2 AWG SOLID BARE TINNED COPPER GROUND DOWNLEAD WIRES ATTACHED TO EXISTING TOWER GROUND RING AND ONE DOWNLEAD FROM GROUND BAR ABOVE ATTACHED TO GROUND BAR AT BASE OF TOWER.
- ⑯ #2 AWG SOLID BARE TINNED COPPER GROUND WIRE FROM GROUND RING TO NEW FENCE CORNER POST WHEN APPLICABLE. RE:DTL#3/E4

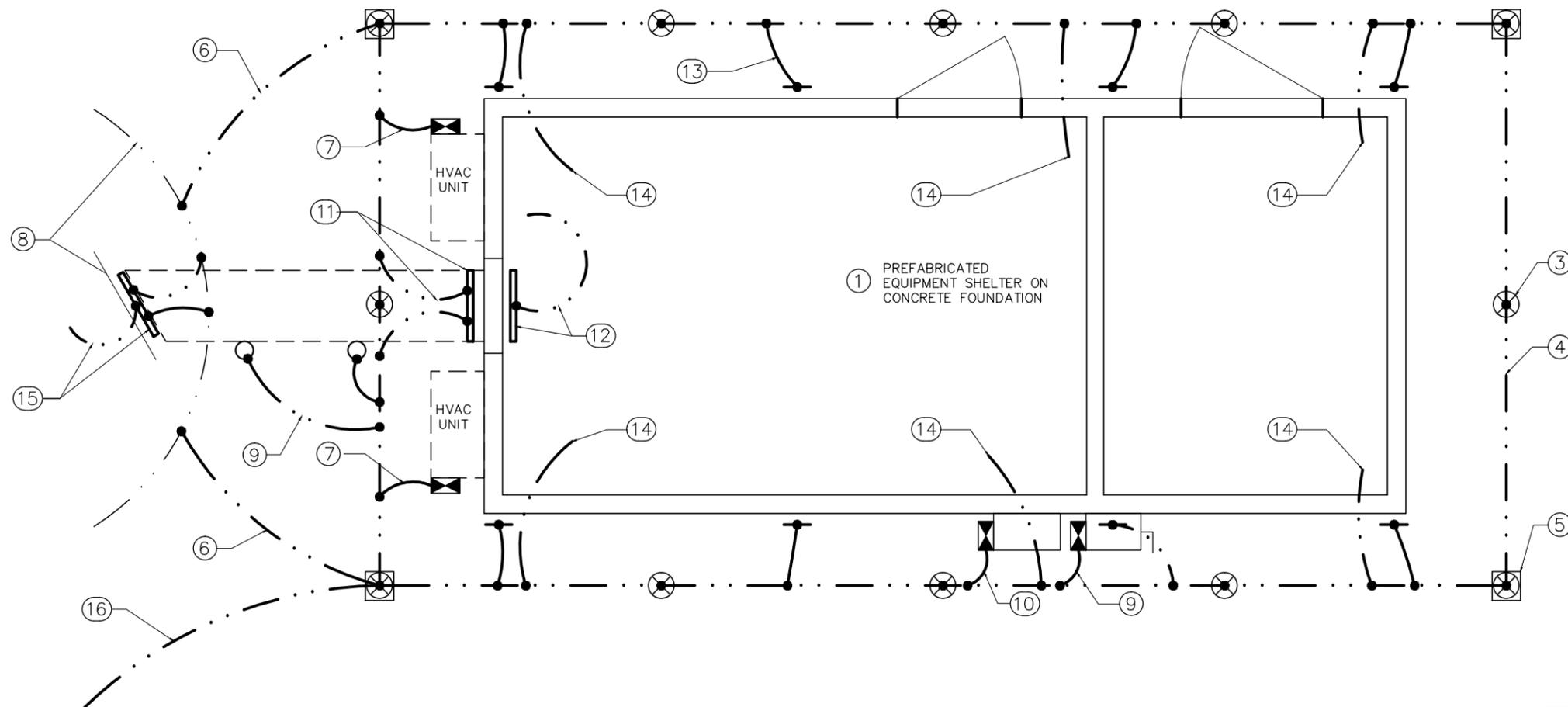
SYMBOLS LEGEND:



FENCE GROUND

SCALE: 3/4" = 1'-0"

3



TYPICAL GROUNDING PLAN

SCALE: 1/4"=1'-0"

1



4300 MARKET POINTE DR.
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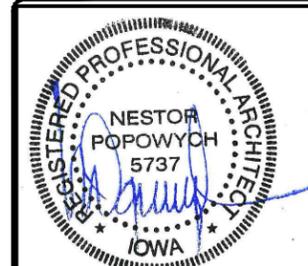


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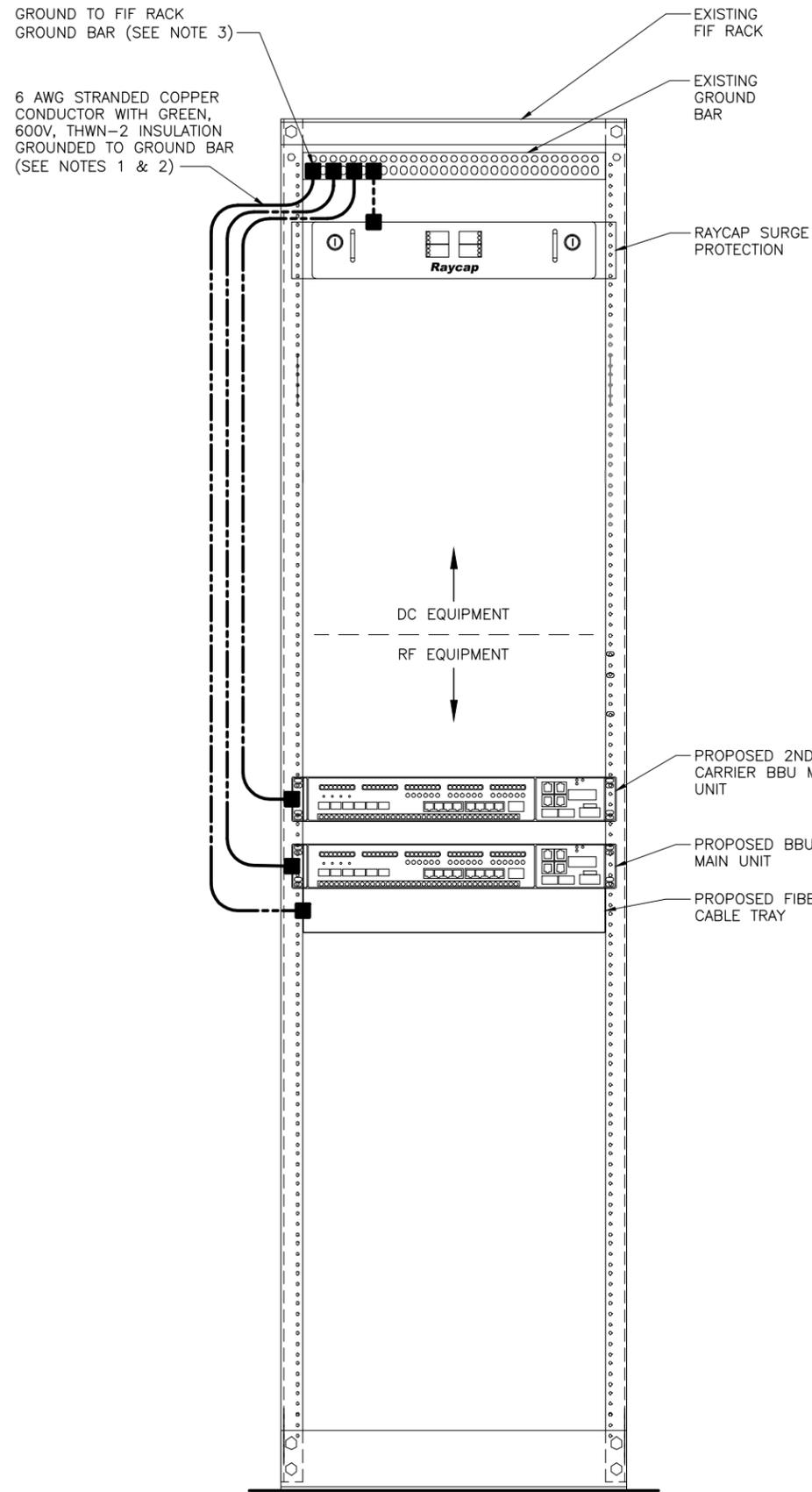


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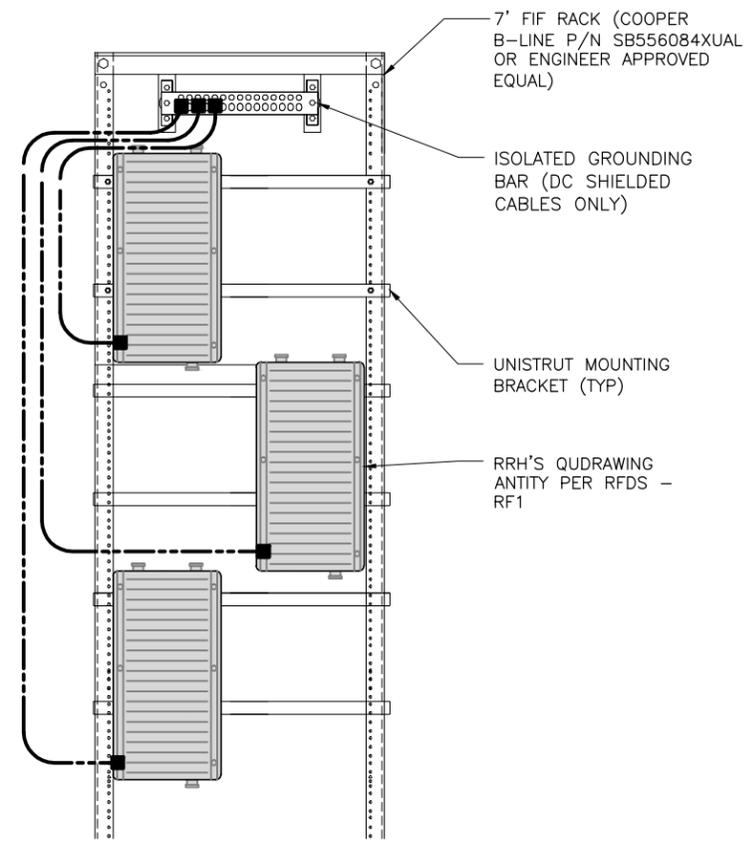
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1900 F AVENUE NW
CEDAR RAPIDS, IA 52405
MONOPOLE

SHEET TITLE
**SHELTER
GROUNDING
PLAN & DETAILS**

SHEET NUMBER
E4



RACK GROUNDING DETAIL
NO SCALE 2



FIF RACK W/ RRH'S GROUNDING DETAIL
NO SCALE 3

(A) FIF GROUNDING BAR: EXTEND (2) #2 AWG TINNED CU CONDUCTORS TO MASTER GROUNDING BAR AND MAKE A MECHANICAL CONNECTION.

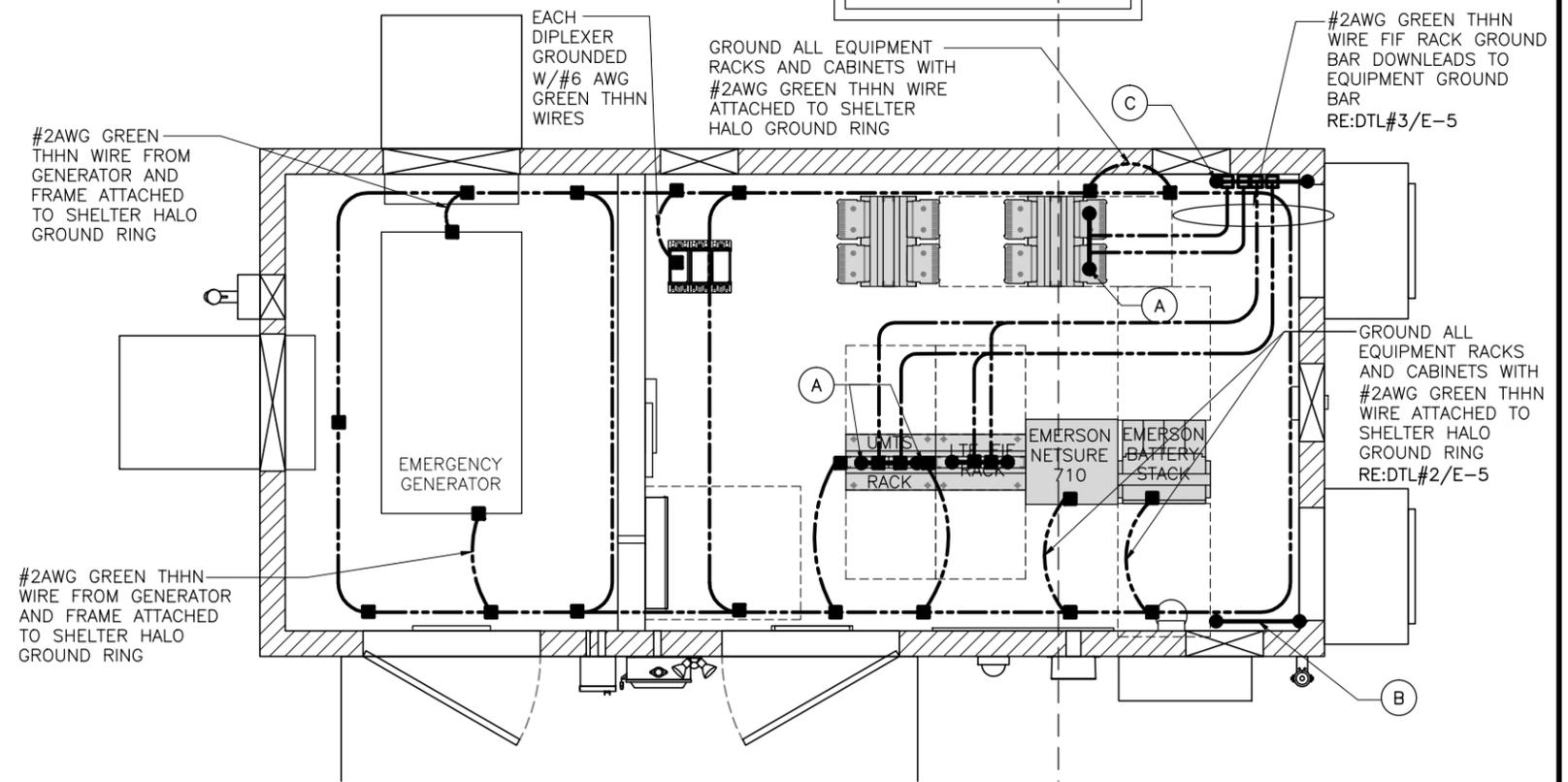
(B) MASTER GROUNDING BAR: FIELD LOCATE.

(C) INTERIOR EQUIPMENT GROUND RING

- EXOTHERMIC TYPE CONNECTIONS
- COMPRESSION TYPE CONNECTIONS
- GROUNDING CONDUCTOR
- GROUNDING BAR

1. COMPRESSION CONNECTIONS (2), #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. ALL GROUND BARS SHALL BE STAMPED IN TO THE METAL "IF STOLEN DO NOT RECYCLE." THE CONTRACTOR SHALL USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "N", "I") WITH 1" TALL LETTERS.
3. THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENT'S METAL FRAMEWORK. BOND THE FRAME GROUND BUS TO THE "I" SECTION OF THE CELL REFERENCE GROUND BAR (ATT-TP-76416 7.8). IF THE FRAME GROUND BAR IS ISOLATED FROM THE FRAME, THEN THE FRAME SHOULD BE GROUNDED TO THE INTERIOR RING WITH A #6 AWG CONDUCTOR.

REFER TO DRAWING E1 FOR TYPICAL ELECTRICAL NOTES



TYPICAL GROUNDING PLAN
SCALE: 1/4"=1'-0" 1

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SHEET TITLE
EQUIPMENT GROUNDING PLAN & DETAILS

SHEET NUMBER
E5



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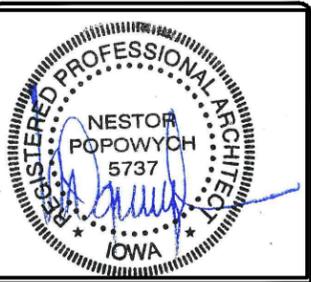


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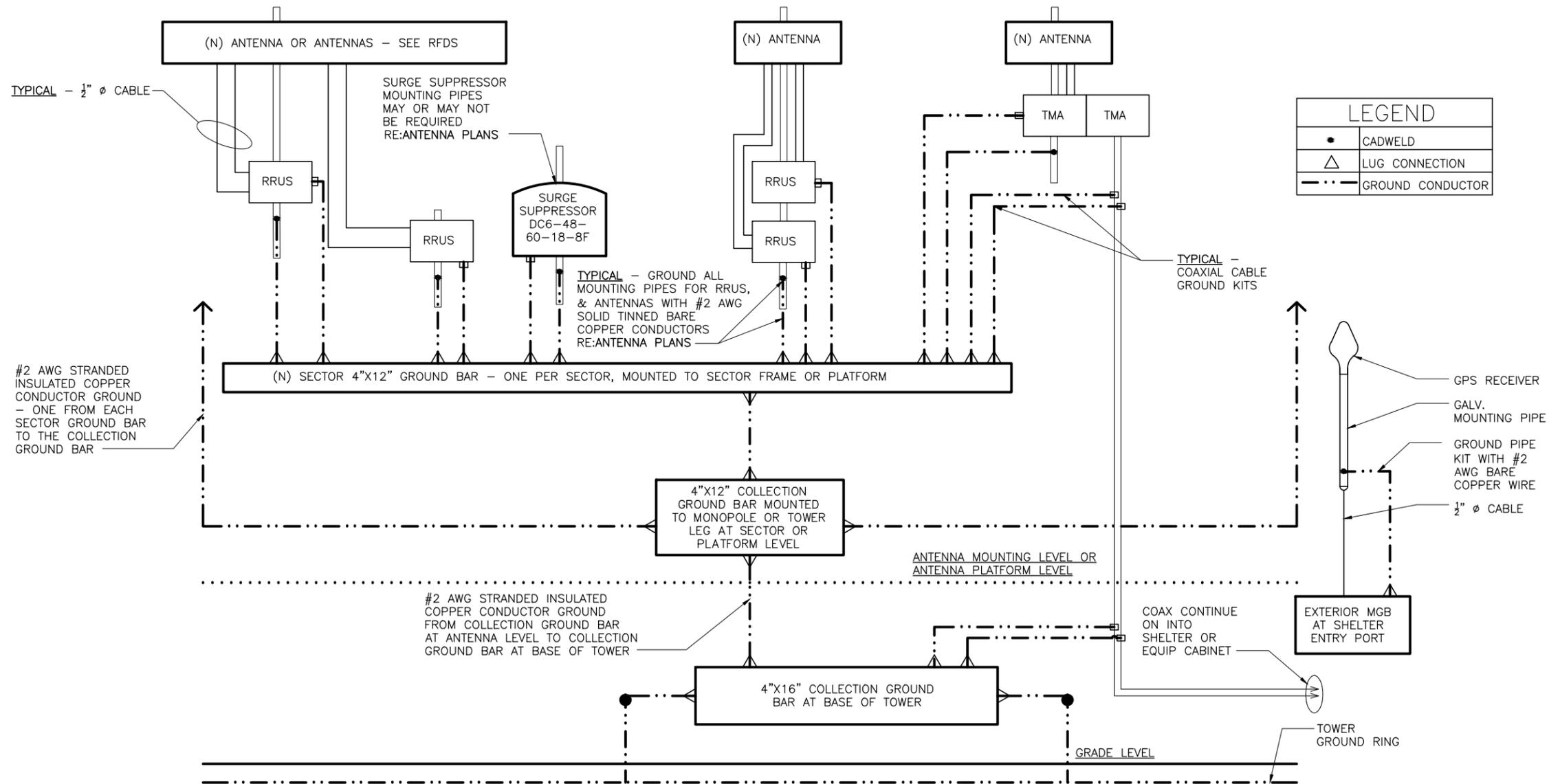
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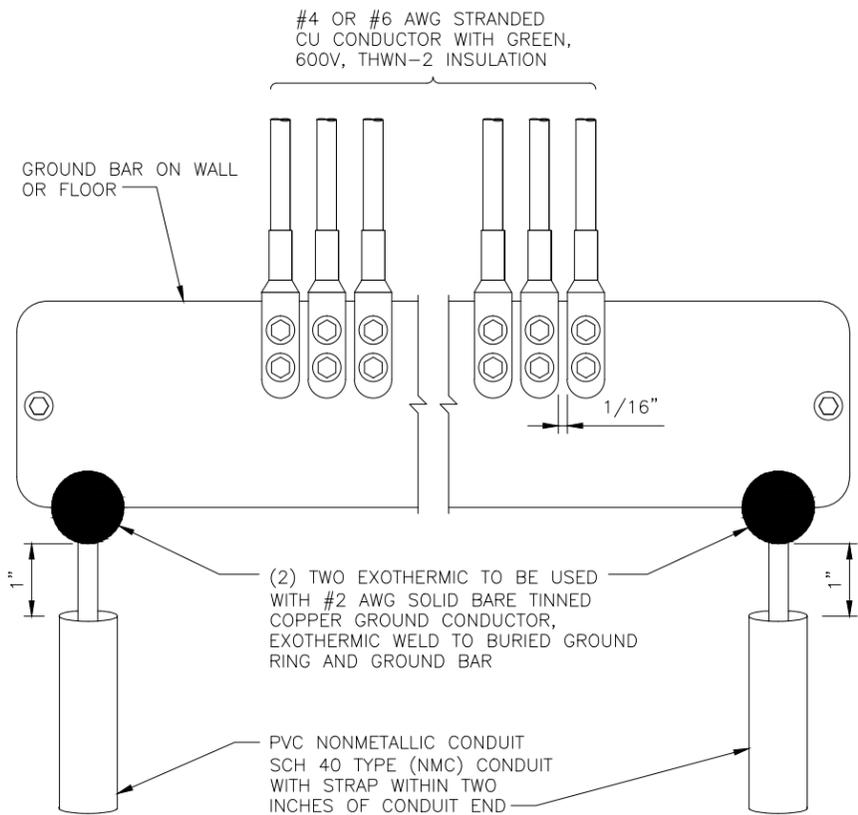
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MONOPOLE

SHEET TITLE
**ANTENNA
GROUNDING -
SLD**

SHEET NUMBER
E6

TYPICAL SECTOR
REFER TO ANTENNA PLANS AND RFDS FOR EXACT COUNT AND POSITIONS
OF ANTENNAS, RRUS, AND MOUNTING PIPES AT EACH SECTOR
GROUND ITEMS AS PER THIS DIAGRAM

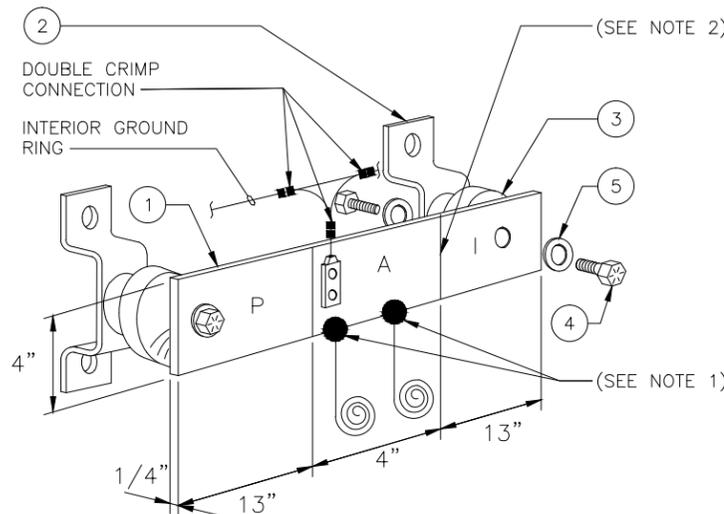




GROUND BAR DETAIL
NO SCALE 3

NEWTON INSTRUMENT COMPANY, INC.
BUTNER, N.C.

NO	REQUIRED	PART NUMBER	DESCRIPTION
①	1	1/4"x4"x30"	SOLID GROUND BAR
②	2	A-6056	WALL MOUNTING BRACKET
③	2	3061-4	INSULATORS
④	4	3012-1	5/8"-11x1" H.H.C.S.
⑤	4	3015-8	5/8" LOCKWASHER



MASTER GROUND BAR DETAIL
NO SCALE 2

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION

SECTION "P" - SURGE PROTECTORS

- (EC) CELL REFERENCE GROUND BAR (IF COLLOCATED)
- (EC) GENERATOR FRAMEWORK (IF AVAILABLE) (#2 AWG)
- (EC) TELCO GROUND BAR (#2 AWG)
- (EC) COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (3/0)
- (EC) FIBER GROUND BAR (#2 AWG)
- (EC) POWER ROOM REFERENCE GROUND BAR (#2 AWG)
- (AT&T) RECTIFIER FRAMES

SECTION "A" - SURGE ABSORBERS

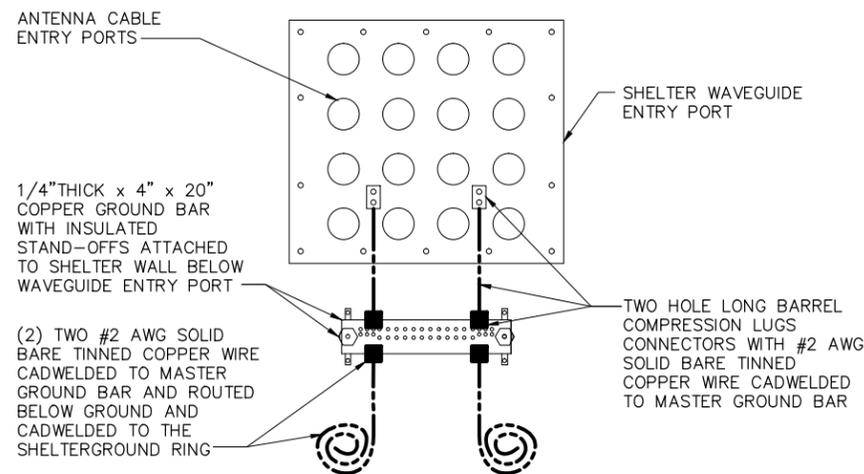
- (EC) INTERIOR GROUND RING (#2 AWG)
- (EC) EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2 AWG)
- (EC) METALLIC COLD WATER PIPE (IF AVAILABLE) (1/0 AWG)
- (EC) BUILDING STEEL (IF AVAILABLE) (1/0 AWG)

SECTION "I" - ISOLATED GROUND ZONE

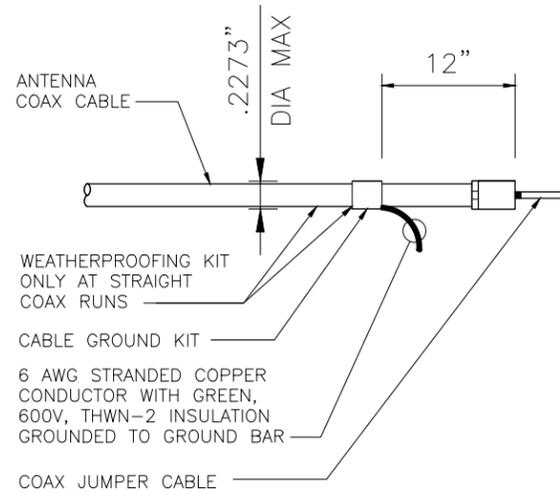
- (AT&T) ALL ISOLATED GROUND REFERENCE
- (AT&T) GROUND WINDOW BAR

DETAIL NOTES:

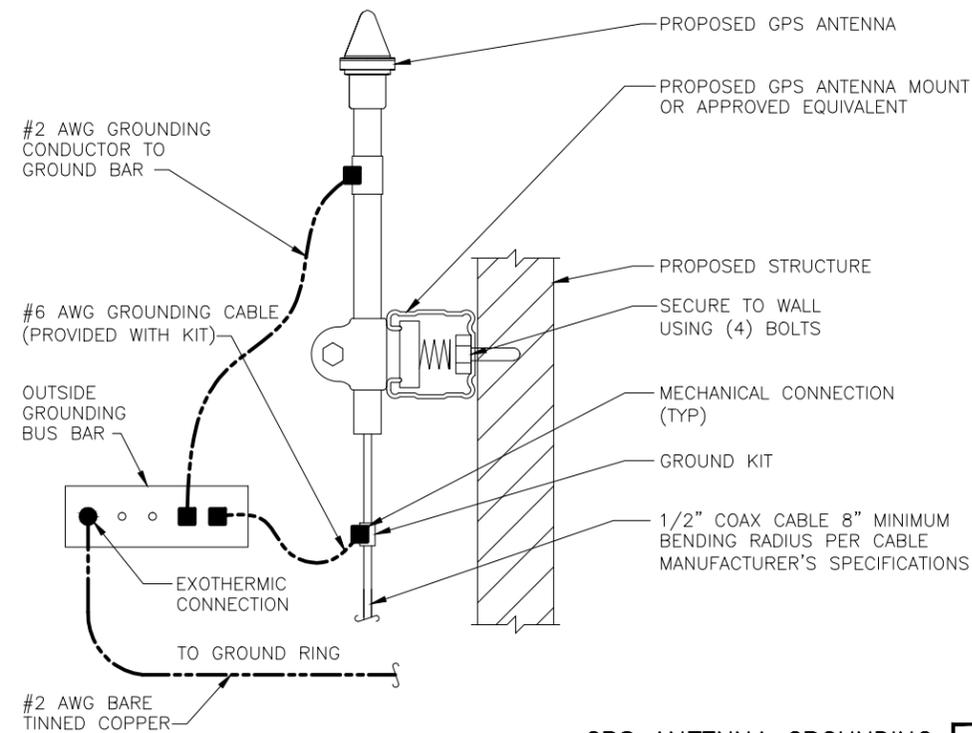
1. EXOTHERMICALLY WELD #2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. THE INSTALLER SHALL USE PERMANENT MARKER TO DRAW THE LIKE BETWEEN SECTION AND LABEL EACH SECTION ("P", "A", "I" WITH 1" HIGH LETTERS



COAX GROUND KIT DETAIL
NO SCALE 4



COAX GROUND KIT DETAIL
NO SCALE 4



GPS ANTENNA GROUNDING
NO SCALE 1



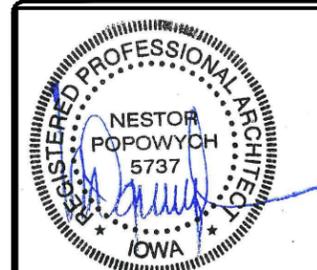
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MONOPILE

SHEET TITLE
**GROUNDING
DETAILS**

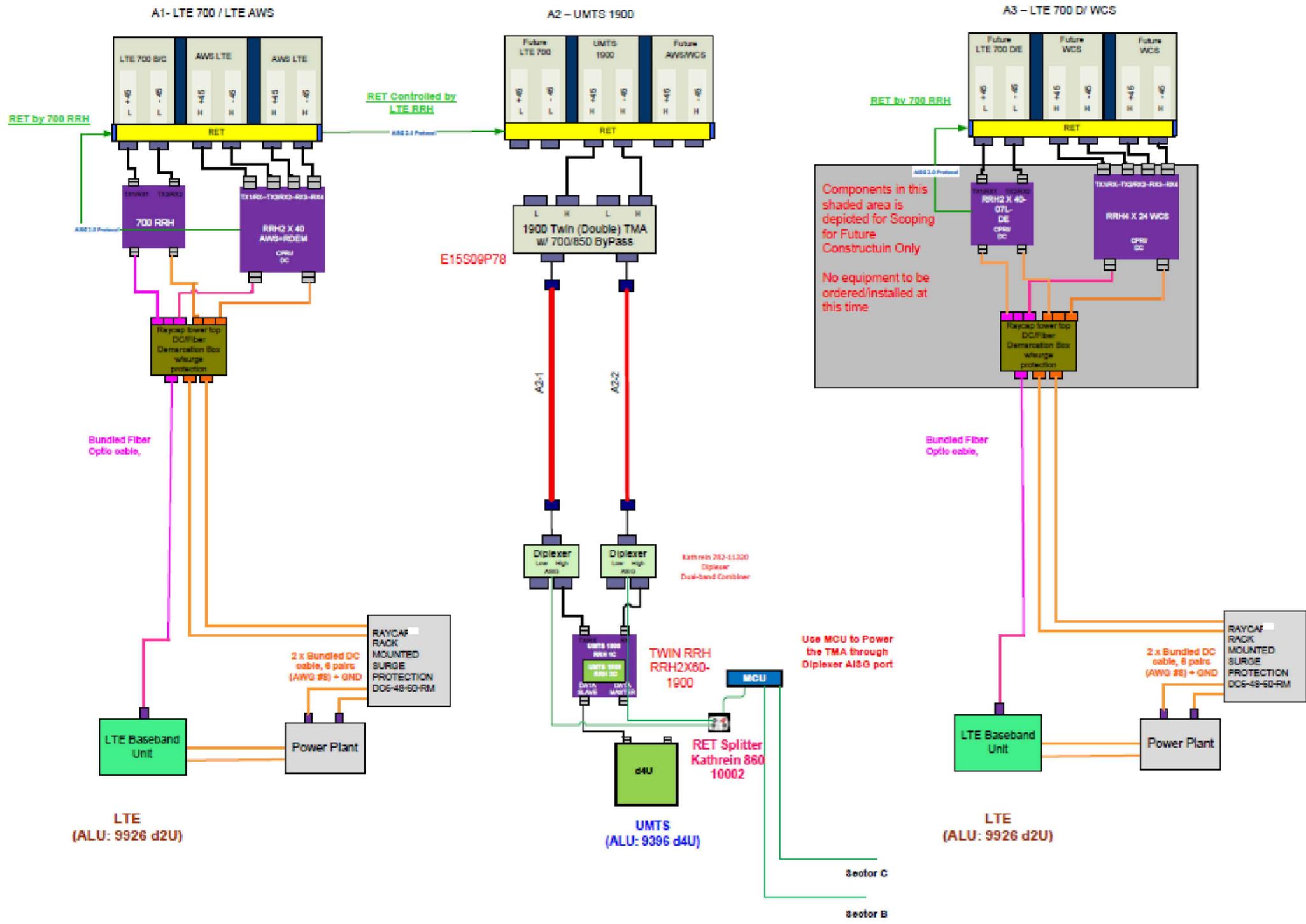
SHEET NUMBER

E7

- # of RRH/sector: 4
- # of antennas/sector: 3
- # of TMA/sector: 1
- # of fiber trunk cable: 12P + 12p
- # of DC trunk cable: 4
- # of SQUID: 2
- # of coax cables/sector: 2
- # of diplexers/sector: 2

* 700 B/C and 700 D/E shall not in the same antenna radome.
 More than 6" separation between antennas is suggested.
 *Additional filter may be required for 700 MHz B/C RRH.

Sector 1



RFDS PLUMBING DIAGRAM – TYPICAL FOR THREE SECTORS (ALPHA, BETA, GAMMA)
 NO SCALE



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 MONOPOLE

SHEET TITLE
**RFDS PLUMBING
 DIAGRAM**

SHEET NUMBER
RF1



Development Services Department
City Services Center
500 15th Avenue SW
Cedar Rapids, IA 52404
Telephone: (319) 286-5043

STAFF REPORT TO CITY PLANNING COMMISSION
Rezoning Without Preliminary Site Development Plan

CPC Date: May 29, 2014
To: City Planning Commission
From: Development Services Department

Applicant: City of Cedar Rapids
Titleholder: City of Cedar Rapids
Case Number: RZNE-010381-2014
Location: 1024 K Avenue NW, 926 N Street SW, 930 N Street SW, 430 9th Avenue SW, 1069 G Avenue NW, 508 9th Street SW, 507 7th Avenue SW, 453 9th Avenue SW, 609 3rd Avenue SW, 948 N Street SW & 709 3rd Street SW
Request: Rezoning from R-3, Single Family Residence Zone District, RMF-2, Multiple Family Residence Zone District and C-2, Community Commercial Zone District to R-TN, Traditional Neighborhood Residence Zone District
Case Manager: Joe Mailander, Development Services Department

BACKGROUND INFORMATION:

This is the eighth round of City-owned properties brought before the City Planning Commission for rezoning. These properties are being requested for rezoning to R-TN, Residential Traditional Neighborhood Zone District, in order to remove technical barriers to redevelopment.

It is anticipated that these properties will be developed as part of the City's ROOTs Program. The Administrative Plan directed by City Council limited the program to infill within the Neighborhood Revitalization Area., the area outside the Construction/Study Area and Greenway as well as the 100-year floodplain. In addition, the City would utilize lots that are being acquired through the Voluntary Acquisition Program and provide those to developers at no cost and in exchange for consideration of the reinvestment of new housing.

Rezoning:

The 11 properties being brought forward by a City-initiated rezoning are in areas of residential redevelopment identified through the Neighborhood Planning Process. These properties are zoned R-3, RMF-2 and C-2. As is the case with nearly all of the lots, the current zoning classification is not an appropriate match for the size and square footage of the lots making them legal non-conforming lots. The rezoning to the R-TN Zoning District will allow new housing to blend into the neighborhood context in terms of meeting setbacks of the neighborhood. In addition, it is important that there are no issues, such as the need for variances in current zoning or being legal non-conforming lots, which might create financing issues with lenders, future buyers or with homeowners insurance. The rezoning of the lots were established prior to the City's adoption of the R-TN Zoning District, which was used

in the Oakhill/Jackson Neighborhood as part of the City's Housing and Neighborhood Development (HAND) Program. In mimicking the results that were achieved through the HAND Project, staff is initiating rezoning on all City-owned lots to the R-TN Zoning District prior to deeding of the properties to the identified developers for in-fill construction of new flood replacement housing. The attached map provided an overview of where the properties are located that are proposed for rezoning.

FINDINGS:

Section 32.02.030.C.5.e of the Zoning Ordinance requires the City Planning Commission to review the application based on the following criteria:

- 1. Whether the amendment is required to correct a technical mistake in the existing zoning regulations.**

Staff Comments: The R-TN Zoning classification was created as part of the 2006 Cedar Rapids Zoning Ordinance to allow for greater flexibility in infill development on smaller parcels within the core of Cedar Rapids. The lots proposed for rezoning was previously developed with a single-family home which was legal, non-conforming in nature due to changed zoning standards over the years. This rezoning is proposed to make the lot developable without requiring a variance.

- 2. Whether the amendment is consistent with the Future Land Use Policy Plan and other elements of the Comprehensive Plan.**

Staff Comments: The rezoning is consistent with the Future Land Use Map and the 2009 Neighborhood Planning Process guidelines for post-flood redevelopment.

- 3. Whether the amendment is consistent with the characteristics of the surrounding area, including any changing conditions.**

Staff Comments: The proposed ROOTs homes are consistent with the type of housing currently located in these neighborhoods.

- 4. Whether the property is suitable for all of the uses permitted in the proposed district.**

Staff Comments: The properties have been identified as suitable for single-family home development.

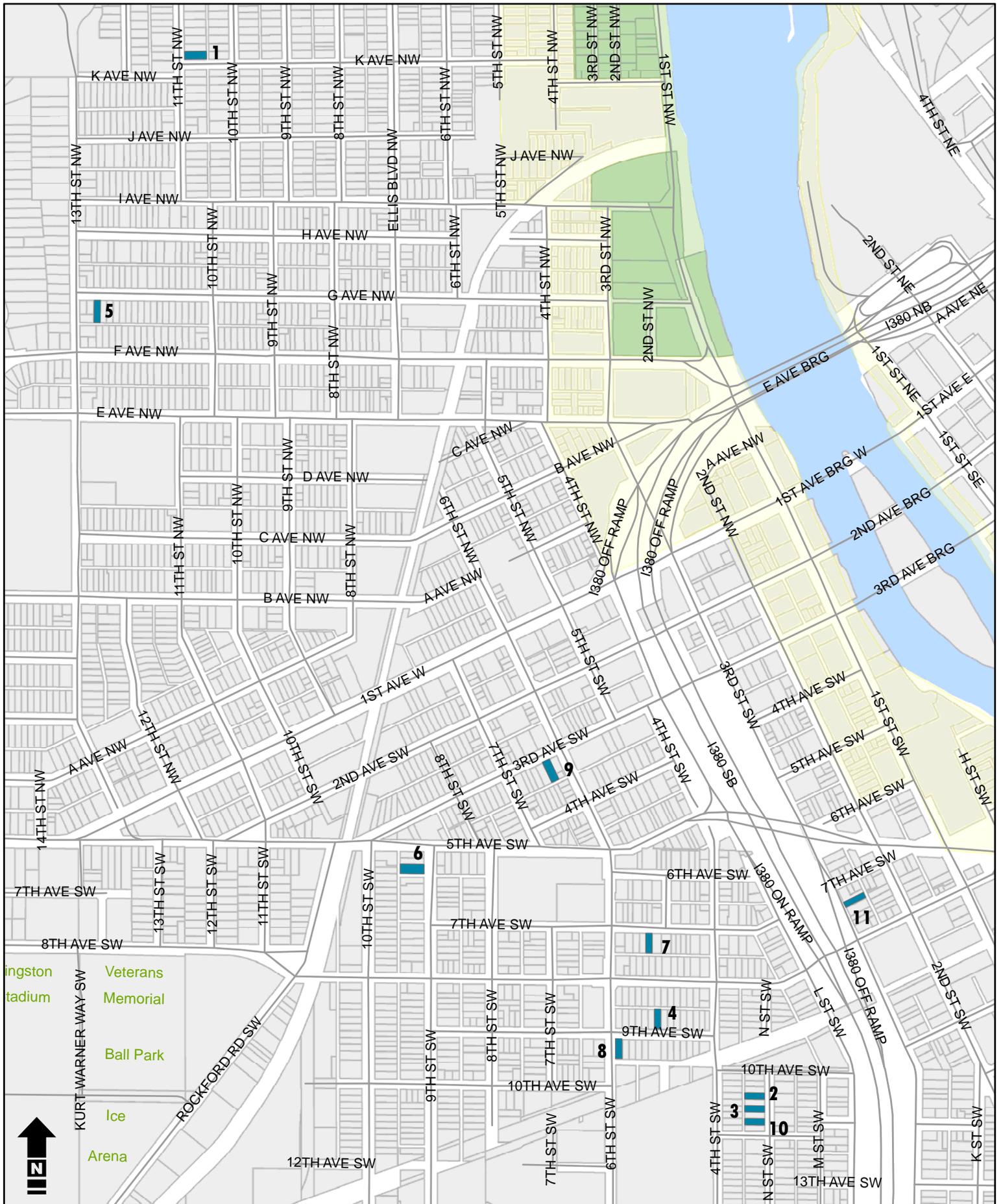
- 5. Whether the proposed amendment will protect existing neighborhoods from nearby development at heights and densities that are out of scale with the existing neighborhood.**

Staff Comments: City staff believes the development of these lots will be in line with the historical size and scale of housing in the neighborhoods.

- 6. Whether facilities and services (including sewage and waste disposal, water, gas, electricity, police and fire protection, and roads and transportation, as applicable) will be available to serve the subject property while maintaining adequate levels of service to existing development.**

Staff Comments: No issues have been raised by City staff about providing services since the parcel has been previously developed.

No recommended City staff conditions.



SFNC Round 4 - Rezoning

City of Cedar Rapids
 Community Development
 101 First Street SE
 Cedar Rapids, Iowa 52401

- Parcels to be Rezoned
- Construction/Study Area
- Greenway

AGENDA
CITY PLANNING COMMISSION MEETING
Thursday, June 19, 2014 @ 3:00 PM
City Hall Council Chambers
101 First Street SE, Cedar Rapids, IA 52401

- **Opening Statement**
- **Roll Call**
- **Approval of the Minutes**
- **Adoption of the Agenda**

1. Case Name: 4015 Mt Vernon Road SE (Preliminary Site Development Plan)

Consideration of a Preliminary Site Development Plan in a C-2, Community Commercial Zone District, as requested by Hy-Vee, Inc. (Applicant/Titleholder)

Case No: PSDP-008537-2014; Case Manager: Chris Strecker

2. Case Name: 150 38th Street NW (Conditional Use)

Consideration of a Conditional Use for an Electrical Substation in a R-2, Single Family Residence Zone District as requested by Alliant Energy (Applicant) and Interstate Power & Light (Titleholder)

Case No: COND-009582-2014; Case Manager: Dave Houg

3. Case Name: 2200 Scotty Drive SW (Conditional Use)

Consideration of a Conditional Use for a Communication Tower in a C-3, Regional Commercial Zone District as requested by Crown Castel (Applicant) and Affordable Self Storage (Titleholder)

Case No: COND-009719-2014; Case Manager: Dave Houg

- **New Business**

1. Recommendation regarding conformity of proposed Amendment No. 1 to the River Ridge North Urban Renewal Area.
2. Recommendation regarding conformity of proposed Amendment No. 1 to the Rockwell Urban Renewal Area.
3. Recommendation regarding conformity of proposed Amendment No. 1 to the Village Urban Renewal Area.

- **Training Opportunities**
- **Announcements**